

LEGEND
 --- EXISTING CONTOUR LINES
 - - - PROPOSED CONTOUR LINES
 + EXISTING SPOT ELEVATIONS
 + PROPOSED SPOT ELEVATIONS

SECTION 28
 BLOCK 55
 LOT 13

NOTE 1: THE INFORMATION USED FOR THIS PLOT PLAN WAS OBTAINED DIRECTLY FROM THE ATTACHED SURVEY PERFORMED BY JOSEPH E. DIOGUARDI DATED 8-2-19

NOTE 2: ELEVATIONS SHOWN ON PLOT PLAN REFER TO NAVD 1988

NOTE 3: 1987 NASSAU COUNTY DATUM IS THE SAME AS NGVD29 DATUM AND IS 108 HIGHER THAN NAVD 1988 DATUM

ZONING REQUIREMENTS FOR PRINCIPAL STRUCTURES IN ZONE "A-2"

	REQUIRED	EXISTING/PROPOSED
LOT AREA	.5 ACRE MIN (21,780)	.41 ACRES (18,056 SF) EXIST NET .50 ACRES (21,852 SF) EXIST GROSS
STREET LINE BUILDING AREA (INCLUDES PRINCIPAL AND ACCESSORY STRUCTURES)	100' MIN 30% MAX (5,416 SF)	197.21' EXISTING 27.4% (4,956 SF) PROPOSED
FRONT YARD SETBACK	40' MIN	*25.0' & *10' PROPOSED
SIDE YARD SETBACK	25' MIN	67.0' PROPOSED
REAR YARD SETBACK	25' MIN	*14.6' PROPOSED
HEIGHT	32' MAX FROM FINISHED GRADE	30'-8" PROPOSED
FLOOR AREA	1,600 SF MIN 18,056 x .184 = 3,322 SF MAX	*4,295 SF PROPOSED
MAX FLAT ROOF PORTION (BEFORE HEIGHT RESTRICTION CHANGES)	50% MAX FLAT	TOTAL MAIN ROOF IS 44.3% FLAT 1,246 SF IS PITCHED (> 4:12) 991 SF IS FLAT (< 4:12)

ZONING REQUIREMENTS FOR CLASS A NON HABITABLE ACCESSORY STRUCTURES IN ZONE "A-2"

	REQUIRED	EXISTING/PROPOSED
STREET LINE SETBACK	40' MIN	104' & 41.0' PROPOSED
ALL OTHER SETBACKS	25' MIN	29.5', *14.5' & 41.0' PROPOSED
FRONT SETBACK OF ACCESSORY MUST BE LESS THAN REAR SETBACK OF PRINCIPAL DWELLING		

PATIO

	REQUIRED	EXISTING/PROPOSED
STREET LINE SETBACK	40' MIN	91.2' & *32' PROPOSED
ALL OTHER SETBACKS	25' MIN	*24.3' & *10.7' PROPOSED
FRONT SETBACK OF ACCESSORY MUST BE LESS THAN REAR SETBACK OF PRINCIPAL DWELLING		

ZONING CALCULATIONS
 SCALE N/A

LOT COVERAGE CALCULATIONS

BUILDING COVERAGE	=	2,598 SF
PORCHES	=	480 SF
WALKS	=	178 SF
DRIVEWAYS	=	2,854 SF
POOL AND POOL PATIO	=	1,878 SF
TOTAL LOT COVERAGE	=	7,988 SF

18,056 NET LOT AREA - 7,988 SF =
 10,068 SF LAWN/LANDSCAPED AREA

NOTE:
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OWNERSHIP AND USE OF DOCUMENTS
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DRAWINGS FOR ZONING AND PLANNING BOARD REVIEW

- 5 ISSUED FOR ZONING & PLANNING BOARD REVIEW 8/2019
- 4 ISSUED FOR ZONING & PLANNING BOARD REVIEW 4/2019
- 3 ISSUED FOR ZONING BOARD REVIEW 12/2018
- 2 ISSUED FOR ZONING BOARD REVIEW 6/2018
- 1 ISSUED FOR ZONING BOARD REVIEW 1/2018

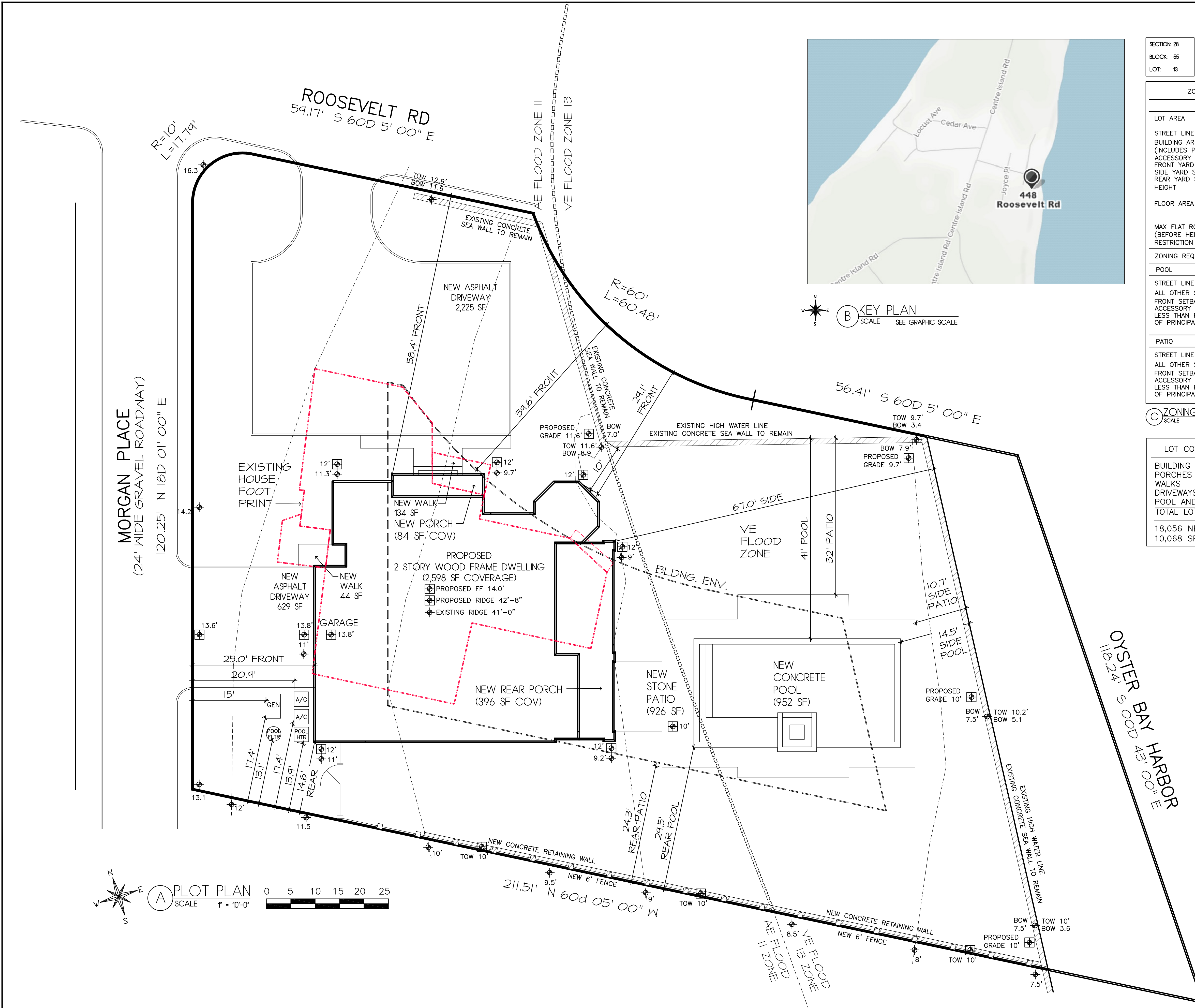
REV NO. DESCRIPTION DATE BY:

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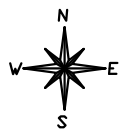
SCHEBLEIN RESIDENCE
 448 ROOSEVELT ROAD
 CENTRE ISLAND, NY 11771
 (516) 849-0361
 SECTION 28 - BLOCK 55 - LOT 13

KEY PLAN PLOT PLAN ZONING CAL

DATE: 8/2019
 SCALE: AS NOTED
 DRAWN: LB
 CHECKED: PR
 PROJECT: 2017-42
 CAD FILE: 2017-42-ZBA-4

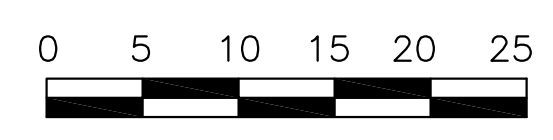


KEY PLAN
 SCALE SEE GRAPHIC SCALE



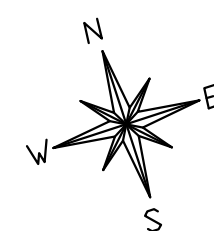
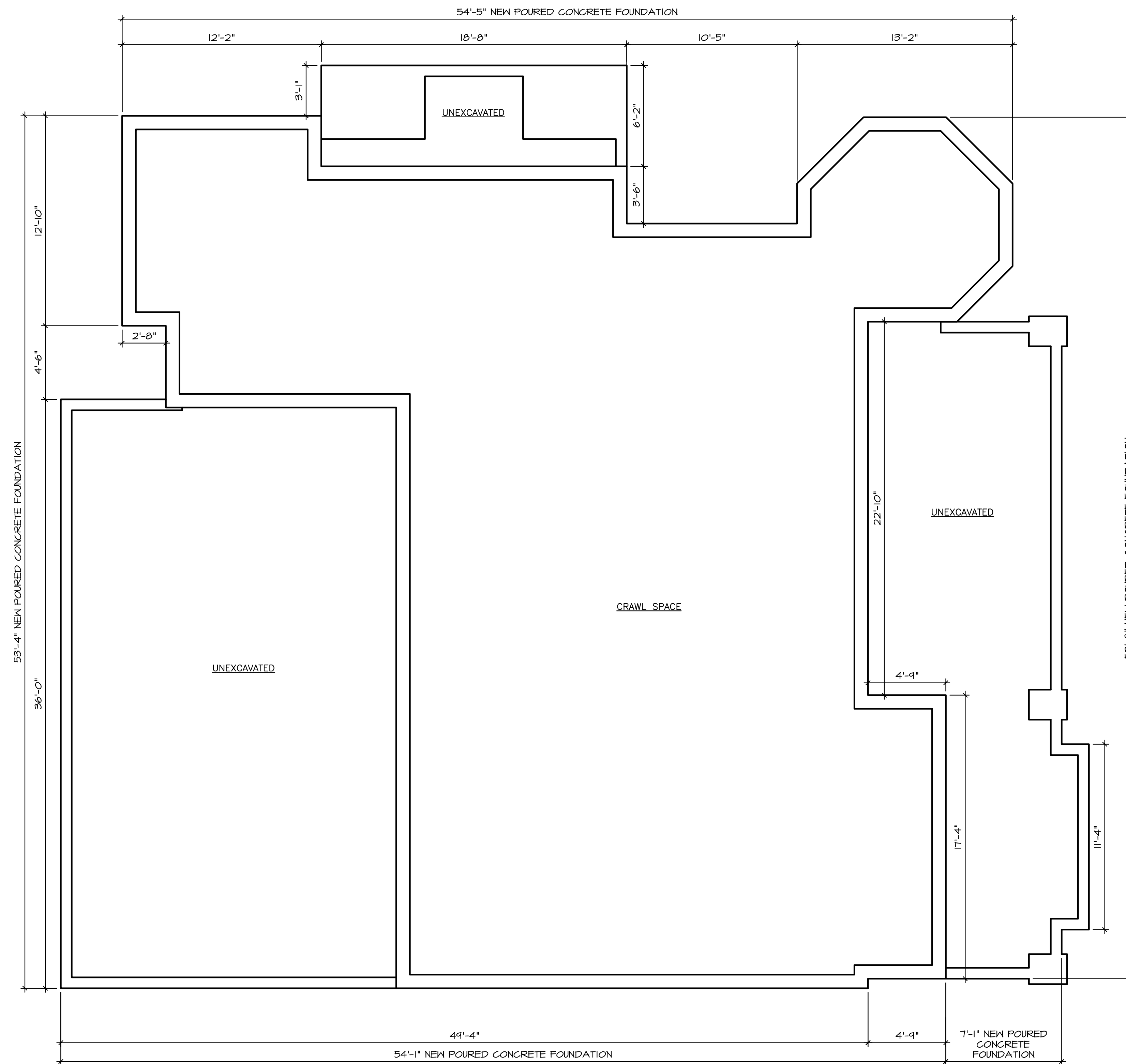
SCALE SEE GRAPHIC SCALE

PLOT PLAN
 SCALE 1" = 10'-0"



SCHEBLEIN RESIDENCE
 448 ROOSEVELT ROAD, CENTRE ISLAND, NEW YORK, 11771

A-1



A FOUNDATION PLAN
SCALE 1/4" = 1'-0"

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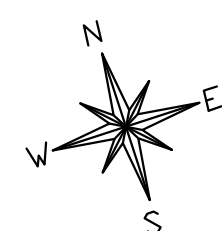
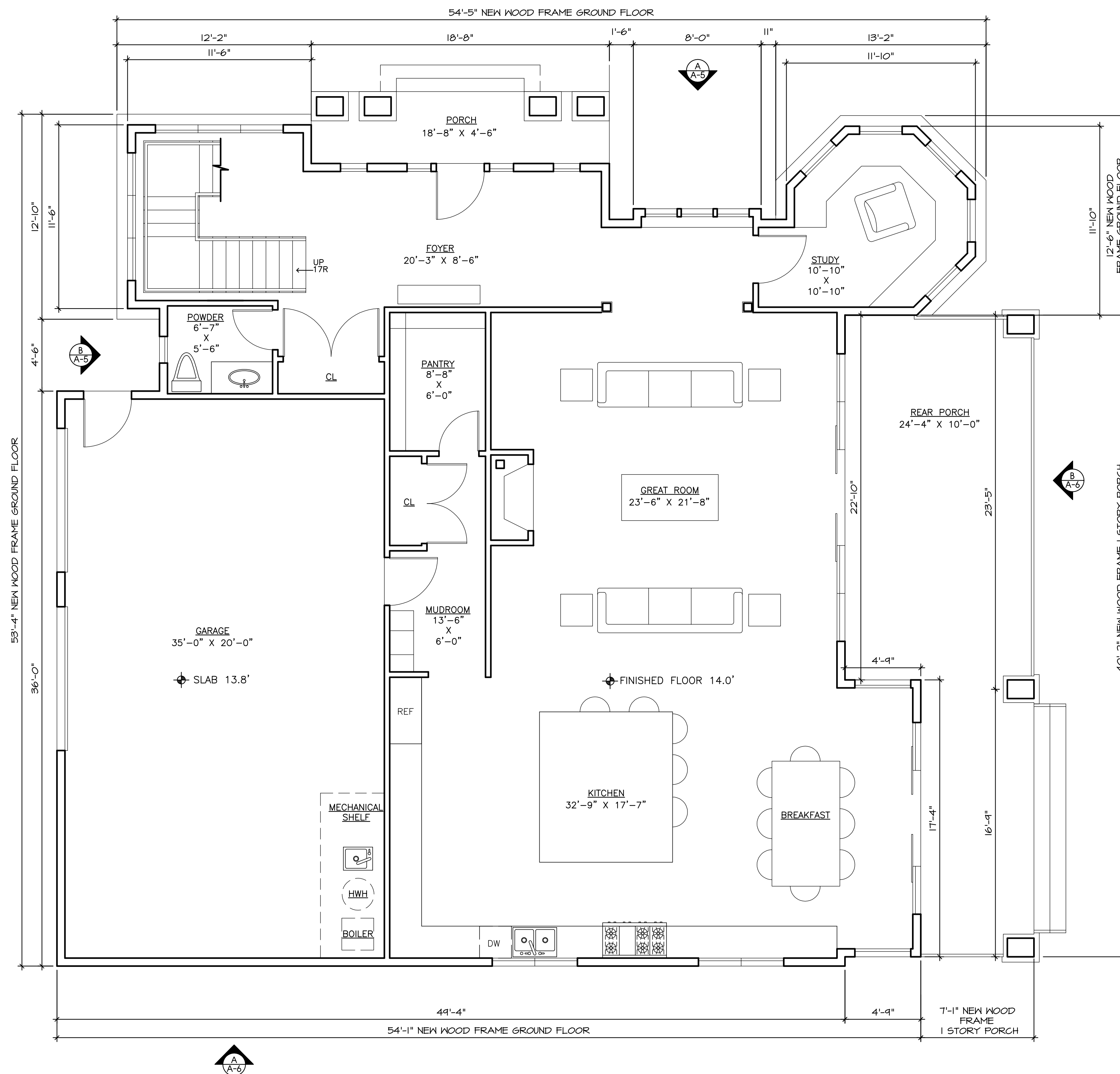
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FOUNDATION PLAN

DATE: 8/2019
SCALE: AS NOTED
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PROJECT: 2017-42
CAD FILE: 2017-42-ZBA-4

A-2



A
GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

1,850 SF GROUND FLOOR (INCLUDES TAPERED FOOTPRINT)
498 SF GARAGE (748 SF - 250 SF)
2,348 SF TOTAL GROUND FLOOR AREA

1,850 SF GROUND FLOOR (INCLUDES TAPERED FOOTPRINT)
84 SF PORCH
748 SF GARAGE
396 SF REAR PORCH
952 SF POOL
4,030 SF TOTAL BUILDING AREA

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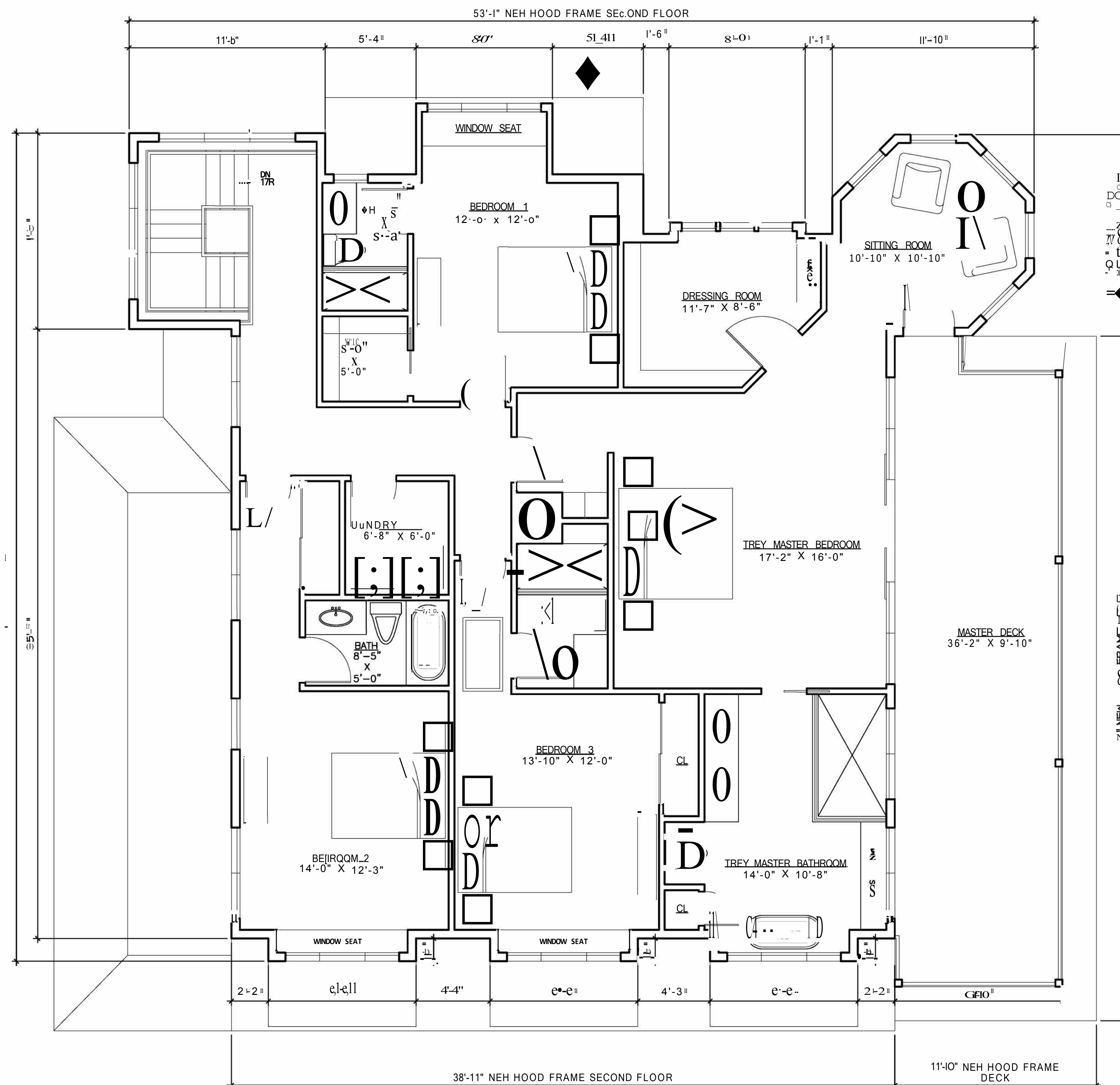
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GROUND FLOOR PLAN

DATE: 8/2019
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PROJECT: 2017-42
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4)-
 @SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0" 1,947 SF SECOND FLOOR AREA

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SECOND FLOOR PLAN

DATE: 8/2019
 SCALE: AS NOTED
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IA-4

NOTE 3
1957 NASSAU COUNTY DATUM
IS THE SAME AS NGVD29
DATUM AND IS 108 HIGHER
THAN NAVD 1988 DATUM

EXTERIOR FINISHES AND COLORS	
NATURAL CEDAR ROOF:	"CERTANTEED- GRAND MANOR" 30 YEAR ASPHALT ROOF SHINGLES - COLOR IS BLACK PEARL
WINDOWS:	"WEATHER SHIELD" - EXTERIOR IS ALUMINUM GLAD WITH 7/8" SDL - COLOR IS WHITE
CEDAR SIDING:	"MABEC CEDAR SHINGLES" GENUINE CEDAR. COLOR IS GREY SEAL 222
AZEK TRIM:	CROWNS, SOFFITS, FASCIAS, WINDOW SURROUNDS, ETC.: COLOR IS WHITE
COLUMNS BETWEEN RAILS:	AZEK CUSTOM : COLOR IS WHITE
RAILS:	AZEK CUSTOM : COLOR IS WHITE
ALUMINUM GUTTERS:	COLOR TO BE WHITE 5 1/2" HALF ROUND
ALUMINUM LEADERS:	COLOR TO BE WHITE 4" FLAIN ROUND
ENTRY DOORS:	CUSTOM ENTRY GENUINE WOOD DOOR. COLOR IS GREY
STONE VENEER:	"OLD COUNTRY" ASHLAR STONE. COLOR IS BLENDED GRAY & BEIGE TONES
GARAGE DOORS:	"CARRIAGE HOUSE DOOR". CEDAR ROLL UP CARRIAGE STYLE DOOR- COLOR IS WHITE
EXTERIOR HARDWARE:	OIL RUBBED BLACK FINISH
EXTERIOR LIGHTING:	CARRIAGE WALL SCONCES IN OIL RUBBED BLACK FINISH



(A) NORTH ELEVATION
SCALE 1/4" = 1'-0"

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SECTION 28 - BLOCK 55 - LOT 13

NORTH & WEST ELEVATIONS

DATE: 8/2019
SCALE: AS NOTED
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A-5



(B) WEST ELEVATION
SCALE 1/4" = 1'-0"



A SOUTH ELEVATION
SCALE 1/4" = 1'-0"



B EAST ELEVATION
SCALE 1/4" = 1'-0"

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ENTRY DOORS:	"OLD COUNTRY" ASHLAR STONE. COLOR IS BLENDED GRAY & BEGE TONES
STONE VENEER:	"CARRIAGE HOUSE DOOR": CEDAR ROLL UP CARRIAGE STYLE DOOR- COLOR IS WHITE
GARAGE DOORS:	OLE RUBBED BLACK FINISH
EXTERIOR HARDWARE:	CARRIAGE WALL SCONCES IN OIL RUBBED BLACK FINISH
EXTERIOR LIGHTING:	

DRAWINGS FOR ZONING AND PLANNING BOARD REVIEW

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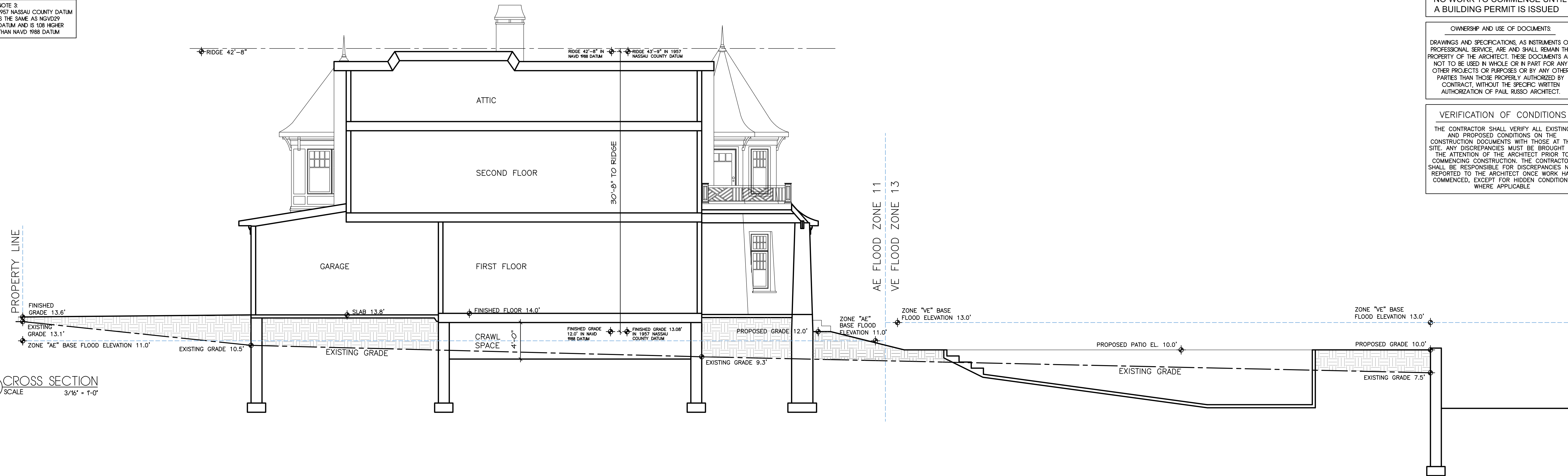
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SECTION 28 - BLOCK 55 - LOT 13

SOUTH & EAST ELEVATIONS CABANA PLANS

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NOTE 3:
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A CROSS SECTION
SCALE 3/16" = 1'-0"

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SECTION 28 - BLOCK 55 - LOT 13

CROSS SECTION

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PROJECT: 2017-42
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A-7

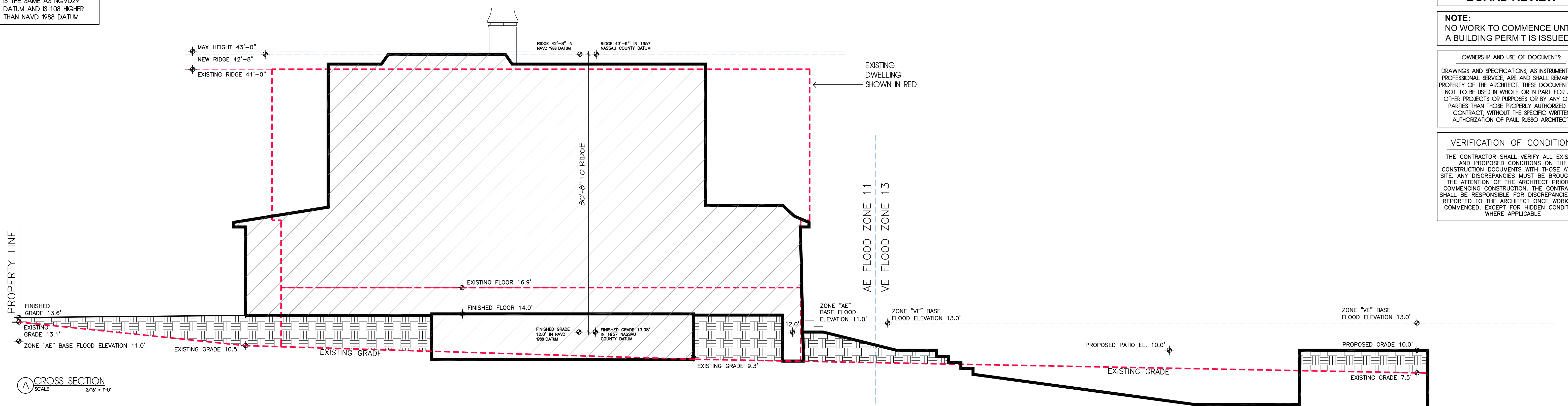
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**DRAWINGS FOR
ZONING AND PLANNING
BOARD REVIEW**

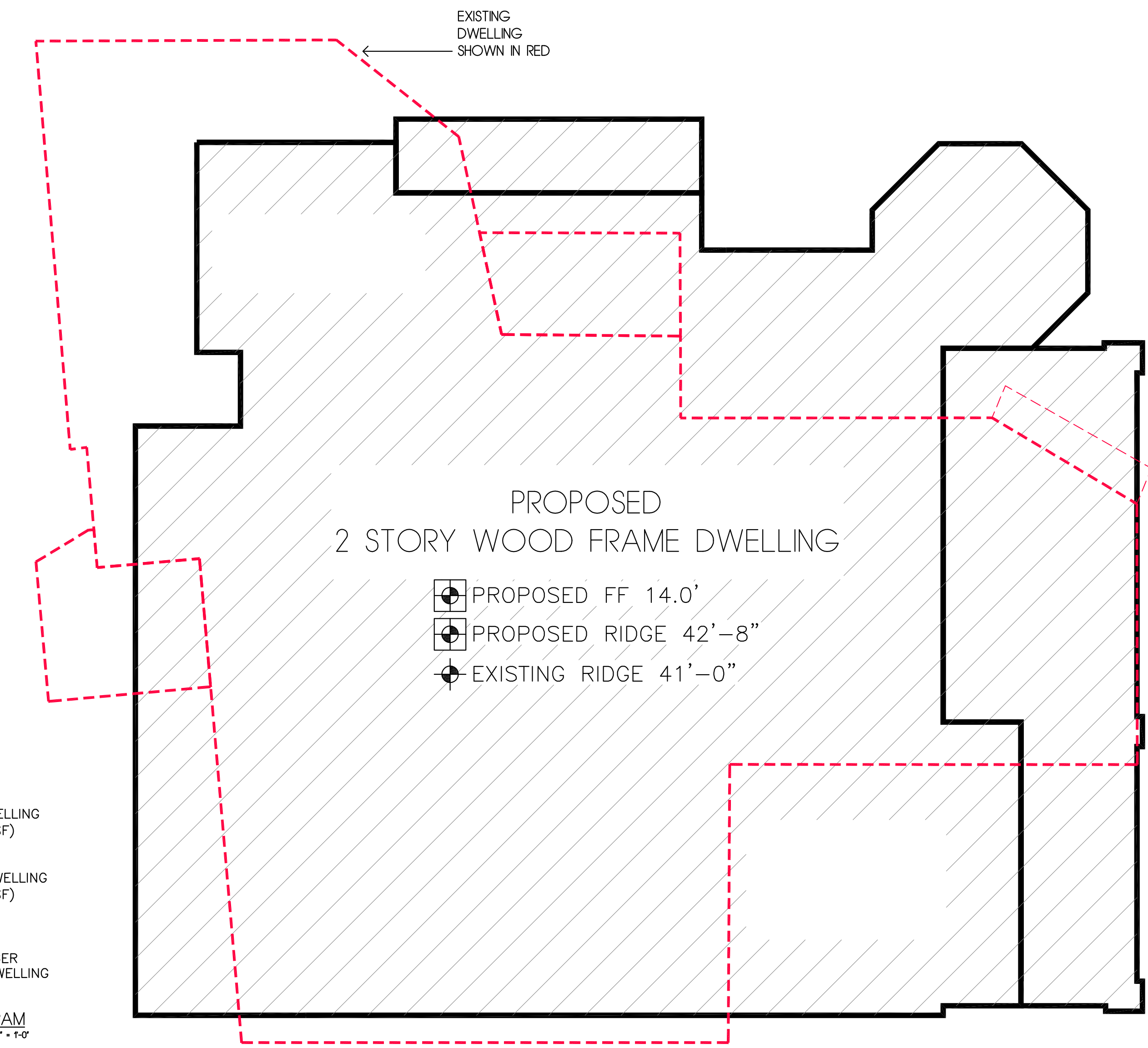
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A CROSS SECTION
SCALE 3/16" = 1'-0"



NEW DWELLING
(3,078 SF)

EXIST DWELLING
(2,576 SF)

NEW DWELLING
IS (502 SF) LARGER
THEN EXISTING DWELLING

B PLAN DIAGRAM
SCALE 3/16" = 1'-0"

REQUIRED FILL IN FLOOD ZONE AE 11

- 97 YARDS GARAGE
- 68 YARDS REAR PORCH
- 10 YARDS FRONT PORCH
- 34 YARDS DRIVEWAY
- 10 YARDS GRADING AT A/C UNITS
- 63 YARDS GRADING SOUTH SIDE OF DWELLING
- 55 YARDS GRADING EAST SIDE OF DWELLING
- 144 YARDS MOTOR COURT AND FRONT GRADING

481 YARDS SUBTOTAL

REQUIRED FILL IN FLOOD ZONE VE 13

371 YARDS GRADING AROUND POOL AND UP TO WALLS

481 + 371 = 852 YARDS TOTAL

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**DIAGRAMATIC
COMPARISON
SECTION/PLAN**

DATE: 8/2019
SCALE: AS NOTED
DRAWN: PR
CHECKED: PR
PROJECT: 2017-42
CAD FILE:

A-8

LOT COVERAGE CALCULATIONS

BUILDING COVERAGE	=	2,598 SF		
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DRIVEWAYS	=	2,854 SF		
POOL AND POOL PATIO	=	1,878 SF		
TOTAL LOT COVERAGE	=	7,988 SF		
18,056 NET LOT AREA	-	7,988 SF	=	10,068 SF LAWN/LANDSCAPED AREA

REQUIRED FILL IN FLOOD ZONE AE 11
 97 YARDS GARAGE
 48 YARDS REAR PORCH
 10 YARDS FRONT PORCH
 34 YARDS DRIVEWAY
 10 YARDS GRADING AT A/C UNITS
 63 YARDS GRADING SOUTH SIDE OF DWELLING
 55 YARDS GRADING EAST SIDE OF DWELLING
 144 YARDS MOTOR COURT AND FRONT GRADING

REQUIRED FILL IN FLOOD ZONE VE 13
 371 YARDS GRADING AROUND POOL AND UP TO WALLS

481 + 371 = 852 YARDS TOTAL

TRI-STATE DRILLING TECHNOLOGIES, INC.
 94 Gardiners Avenue #388, Levittown, New York 11756

SOIL BORING REPORT LOG

DATE: 07/25/17 SHEET 1 OF 1
 CLIENT: E. Scheblein Plumbing & Heating LOCATION ID#
 Project Location: 448 Centre Island Rd., Centre Island, N.Y. PROJECT #17276

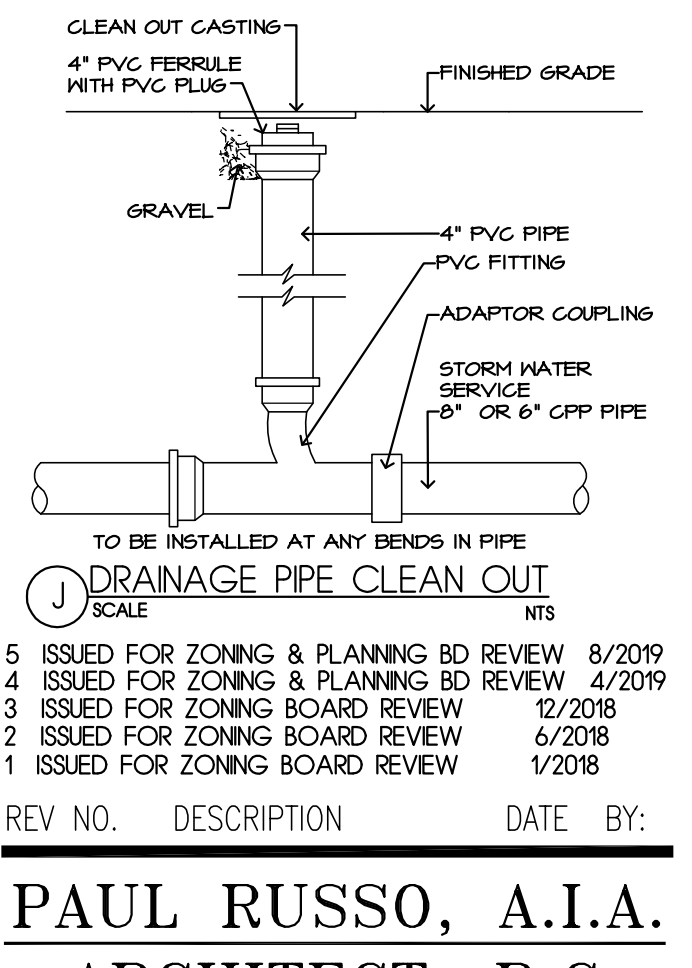
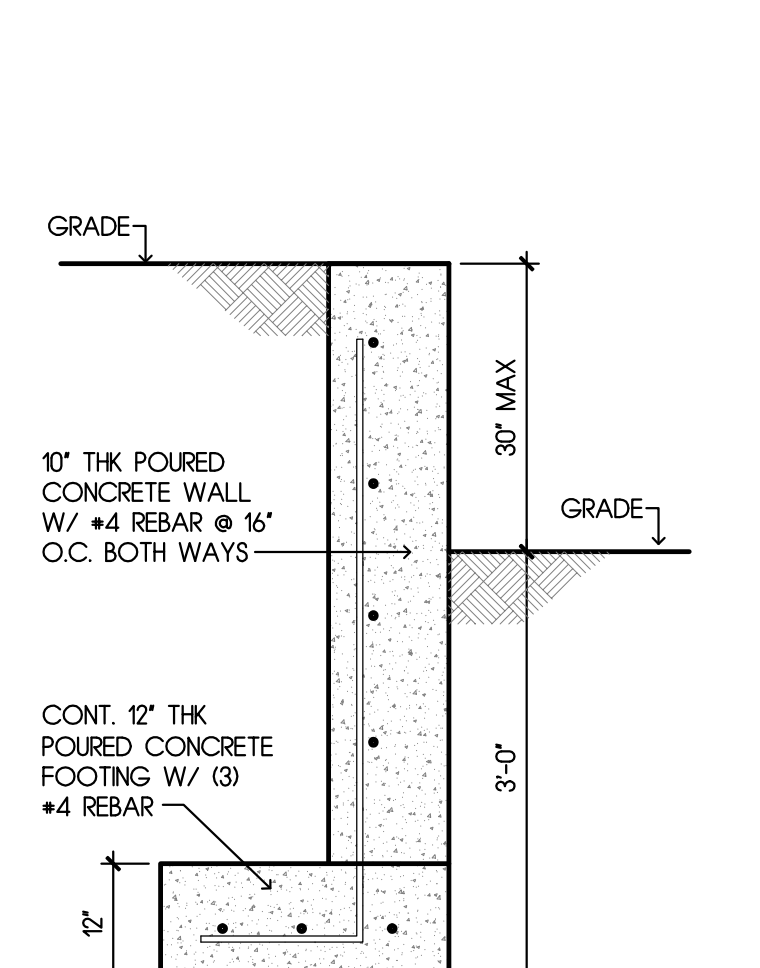
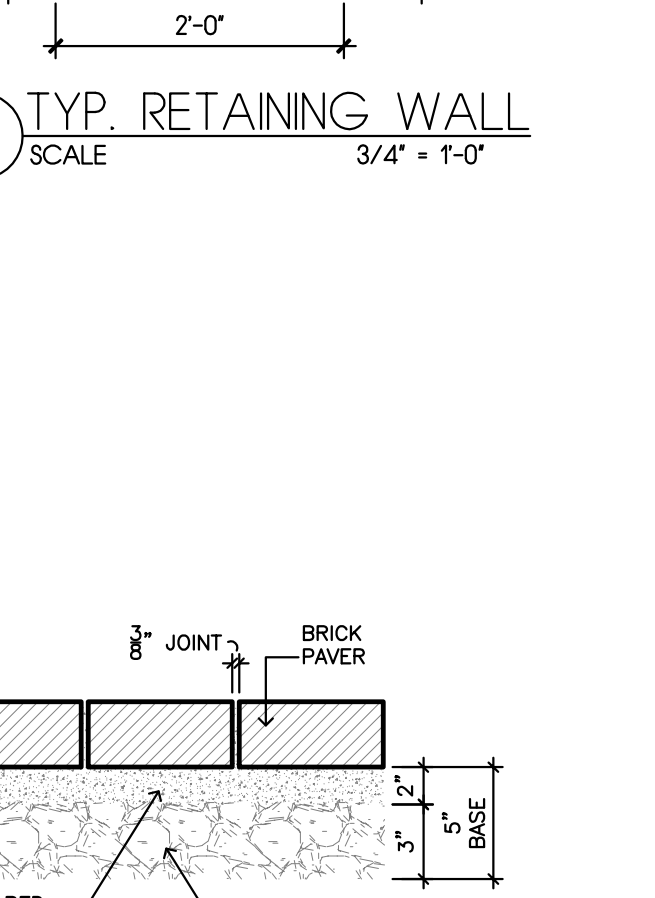
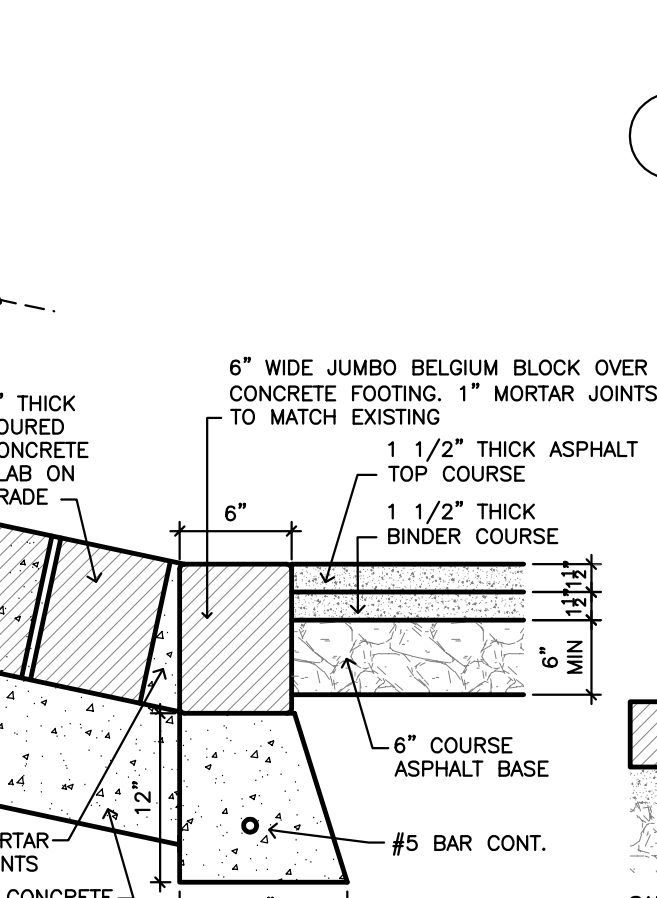
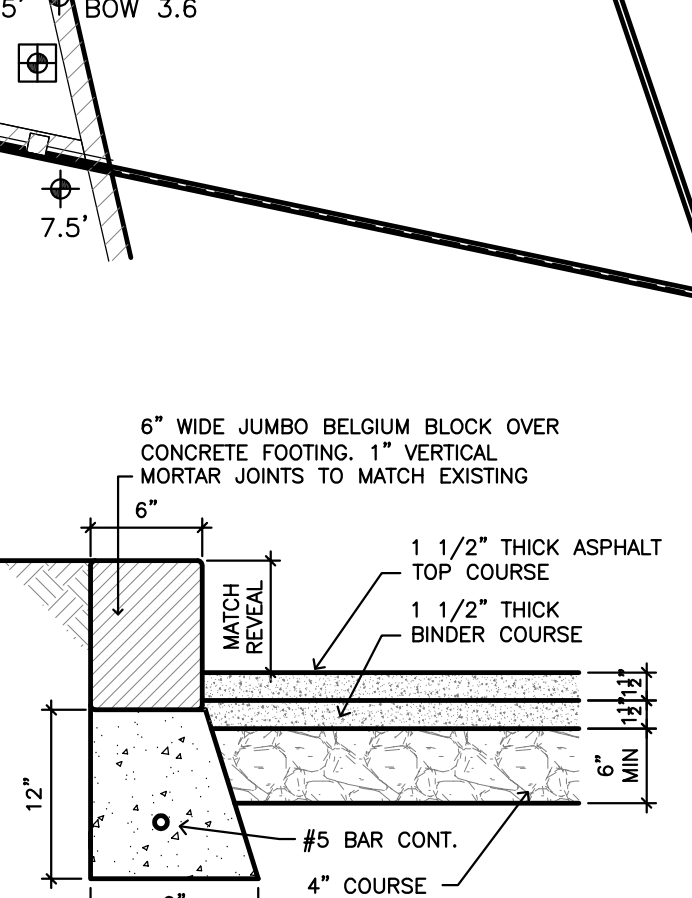
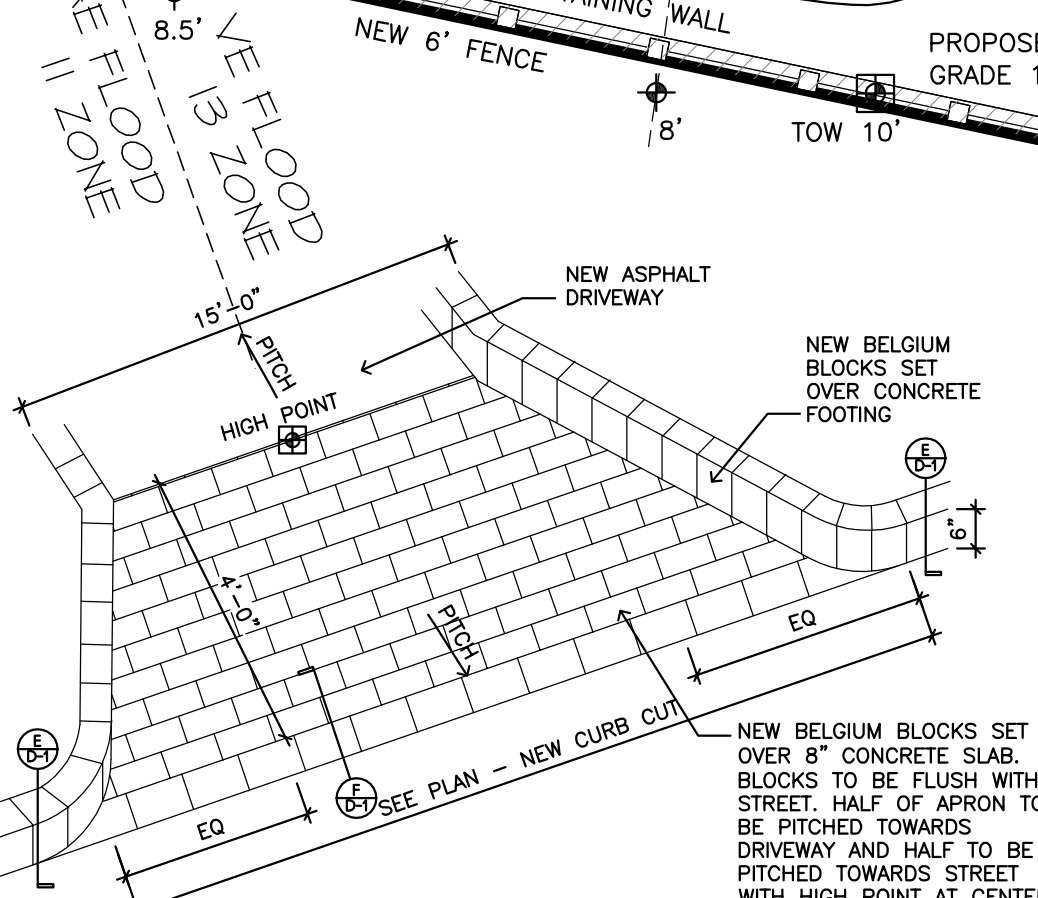
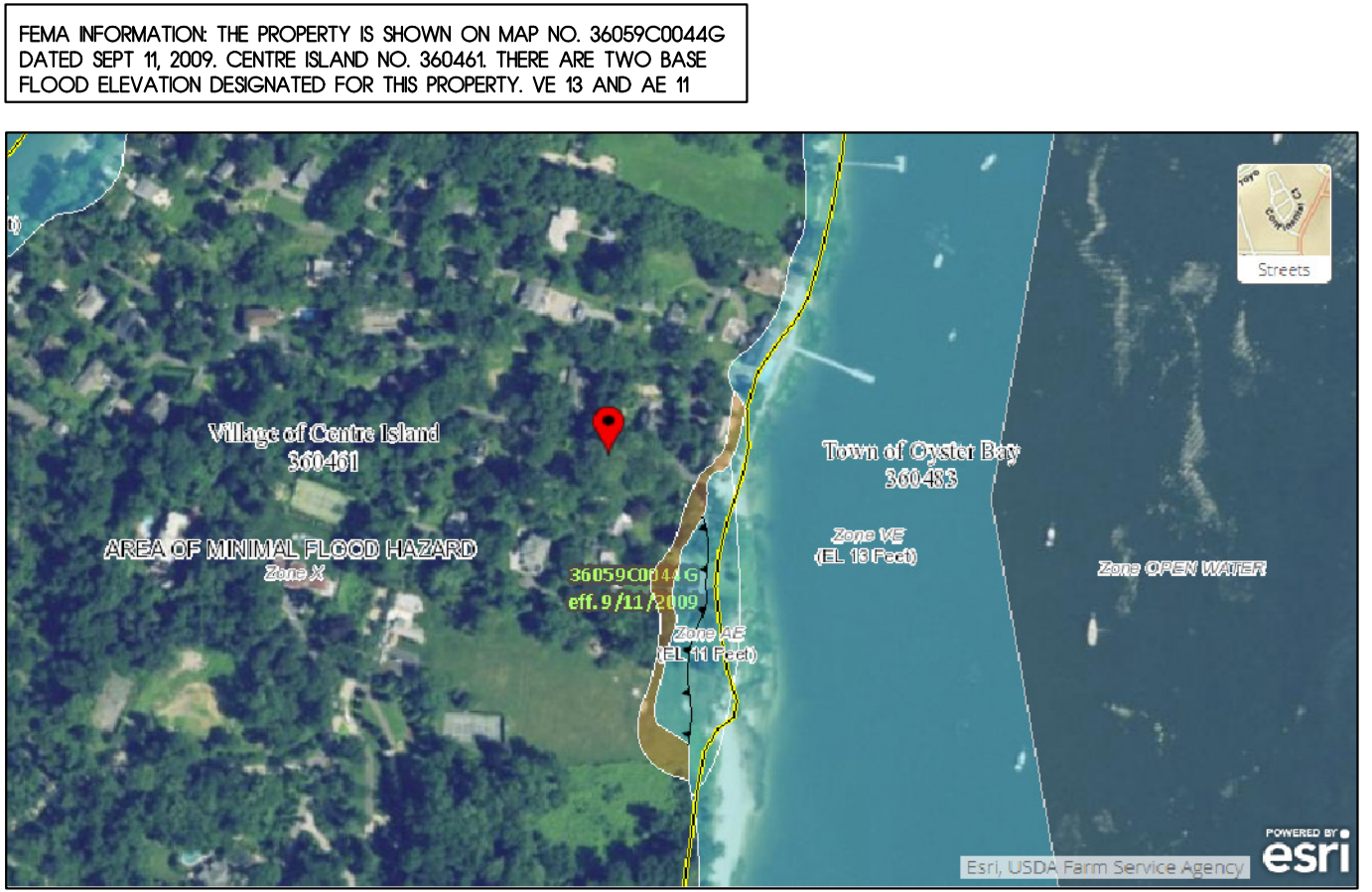
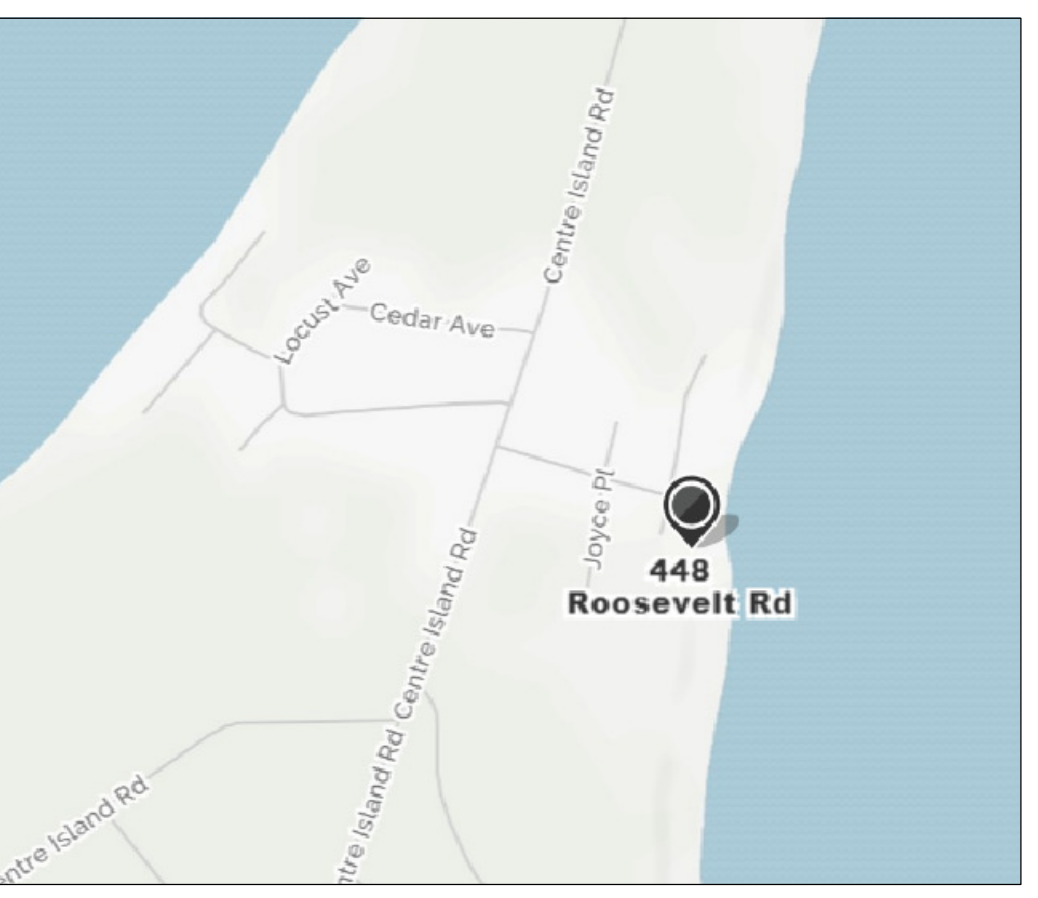
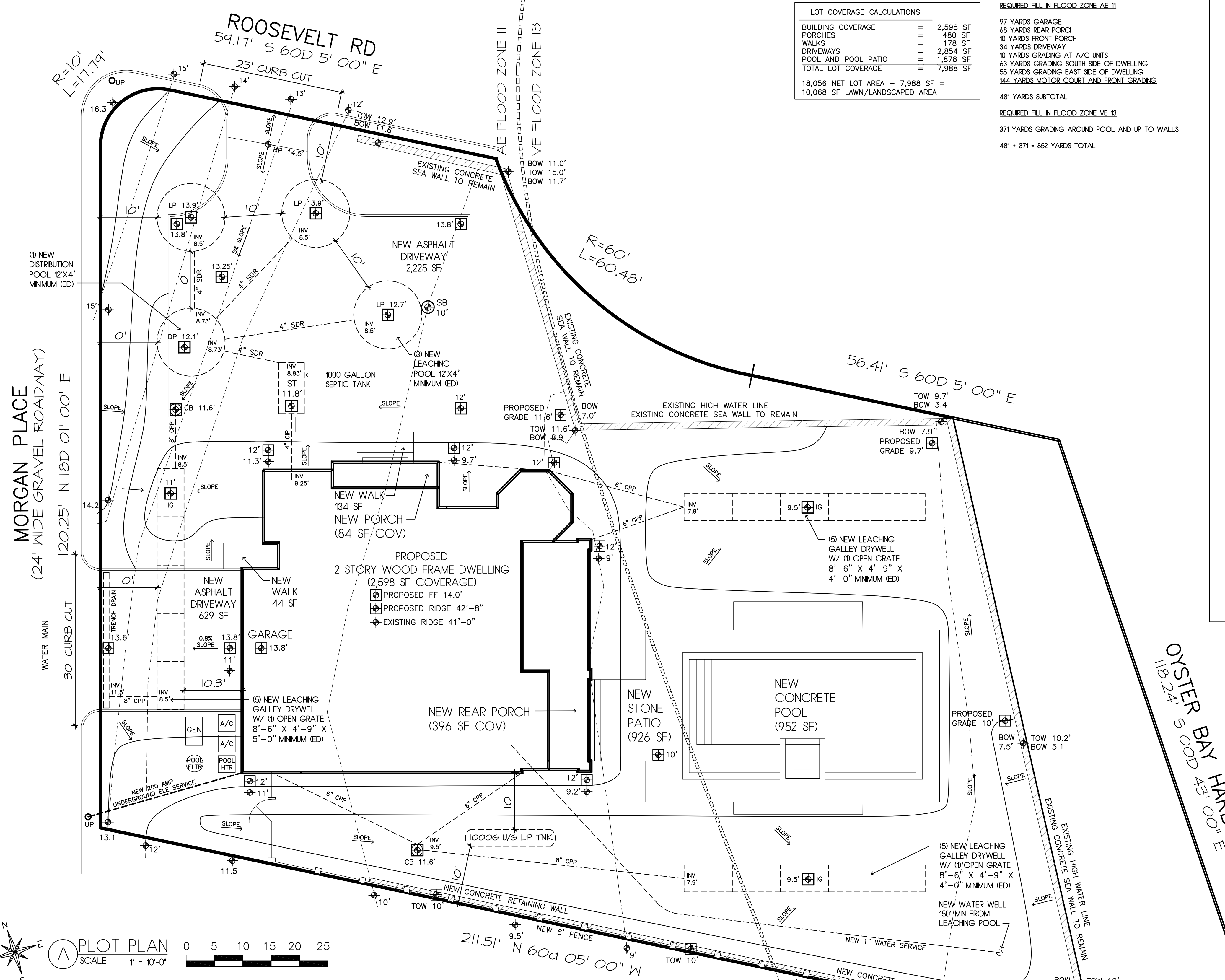
Remarks: Proposed Residence

DRILLING CONTRACTOR: TSDT, Inc. Logged: PR DRILLER: PR
 EQUIPMENT: SOIL SAMPLER: HAMMER FALL Standard Penetration Test DRILL RIG DRILL METHOD:
 TYPE: STD Auto Y
 SIZE: 2-inch
 Surface Elevation: NA Surface Material: Asphalt - 3-inches

WATER LEVEL (In Open Borehole): 8.5 feet

DEPTH	SAMPLE	BLOW COUNTS	CLASS OF MATERIAL	MOISTURE	STRATA	SOIL - ROCK DESCRIPTION - CLASSIFICATION
0	S-1	8 6 3		Dry		Dark Brown f-m SAND-SILT some Gravel (SM)
	S-2	7 6 4				Brown f-m SAND some Gravel trace Silt (SP)
5	S-3	4 3 7				Brown Loose f-m SAND & SILT trace Organic fill (SM) To 8 feet
	S-4	3 3 4				
	S-5	8 9 3		Wet		Brown f-m SAND some Gravel trace Silt (SP)
10	S-6	10 13 16 18				Brown f-m SAND some Gravel (SP)
15	S-7	14 17 16 11				Brown f-c SAND & GRAVEL (SP)
20	S-8	11 17 15 14				Brown f-c SAND & GRAVEL (SP)
25	S-9	18 15 12 9				Brown f-c SAND some Gravel (SP)
						End of Boring @ 27 feet

- LEGEND**
 --- EXISTING CONTOUR LINES
 --- PROPOSED CONTOUR LINES
 + EXISTING SPOT ELEVATIONS
 + PROPOSED SPOT ELEVATIONS
 SB ⊕ SOIL BORING LOCATION
- GENERAL NOTES AND SPECIFICATIONS:**
 STORM WATER:
 1. ALL WORK SHALL COMPLY WITH STANDARD SET FORTH BY NASSAU COUNTY DEPARTMENT OF PUBLIC WORKS AND NASSAU COUNTY DEPARTMENT OF HEALTH.
 2. ROOF AREA AND DRIVEWAY SHALL BE DRAINED TO DRY WELL. DRY WELL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF SANITARY LEACHING POOL CONSTRUCTION AS MUCH AS IS PRACTICAL. SPECIFICALLY, DRY WELLS MUST BE INSTALLED SO AS TO HAVE COMMUNICATION WITH RATABLE LEACHING SOIL.
 DRAINAGE:
 3. ELEVATIONS SHOWN ARE IN NAVD 88 DATUM
 4. ALL SITE DRAINAGE PIPING SHALL BE CPP 12" MINIMUM AND 4" MIN AT ROOF RUNOFF
 5. 6" ALUM GUTTERS TO BE INSTALLED AT DWELLING AND CONNECTED TO 3/4" LEADERS
 6. CONTRACTOR IS TO VERIFY THE EXISTING ELEVATIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION
 7. LAWN AREAS SHALL HAVE A 1.5% MINIMUM GRADE
 8. RUNOFF OF DEVELOPED SITE MUST NOT DRAIN ON ADJACENT PROPERTIES
- DRAWINGS FOR ZONING AND PLANNING BOARD REVIEW**
- NOTE:**
 NO WORK TO COMMENCE UNTIL A BUILDING PERMIT IS ISSUED
- OWNERSHIP AND USE OF DOCUMENTS**
 DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT. WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF PAUL RUSSO ARCHITECT.
- VERIFICATION OF CONDITIONS**
 THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED CONDITIONS ON THE CONSTRUCTION DOCUMENTS WITH THOSE AT THE SITE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCREPANCIES NOT REPORTED TO THE ARCHITECT ONCE WORK HAS COMMENCED, EXCEPT FOR HIDDEN CONDITIONS WHERE APPLICABLE.



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REV NO. DESCRIPTION DATE BY:

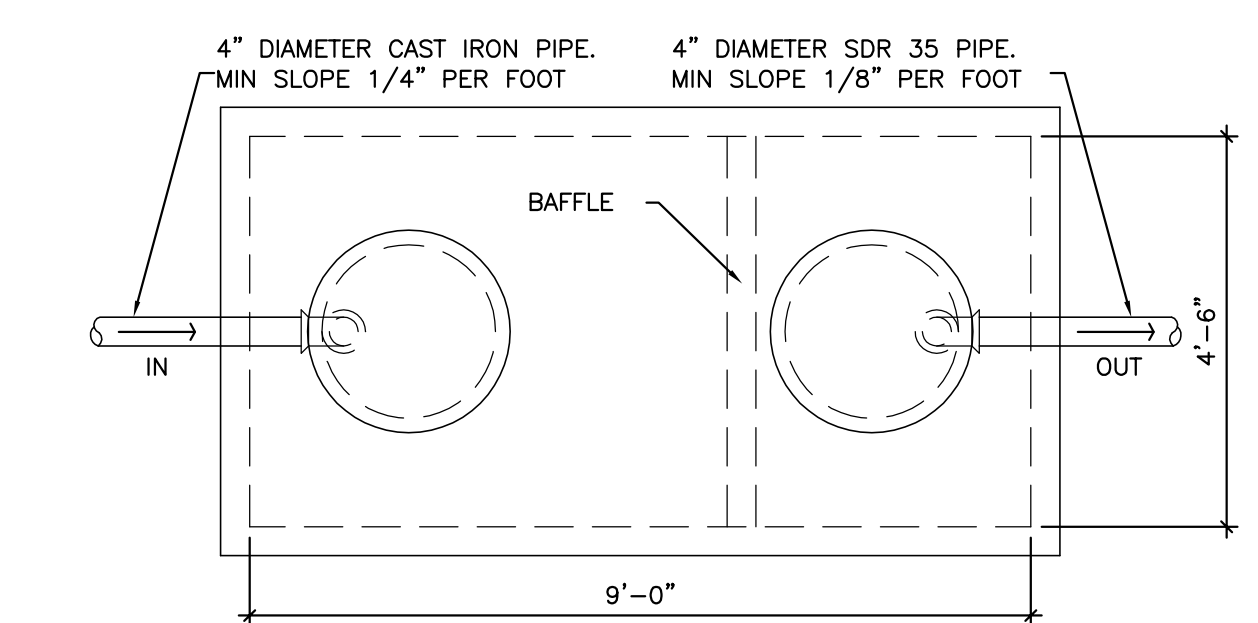
PAUL RUSSO, A.I.A.
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 SECTION 28 - BLOCK 55 - LOT 13

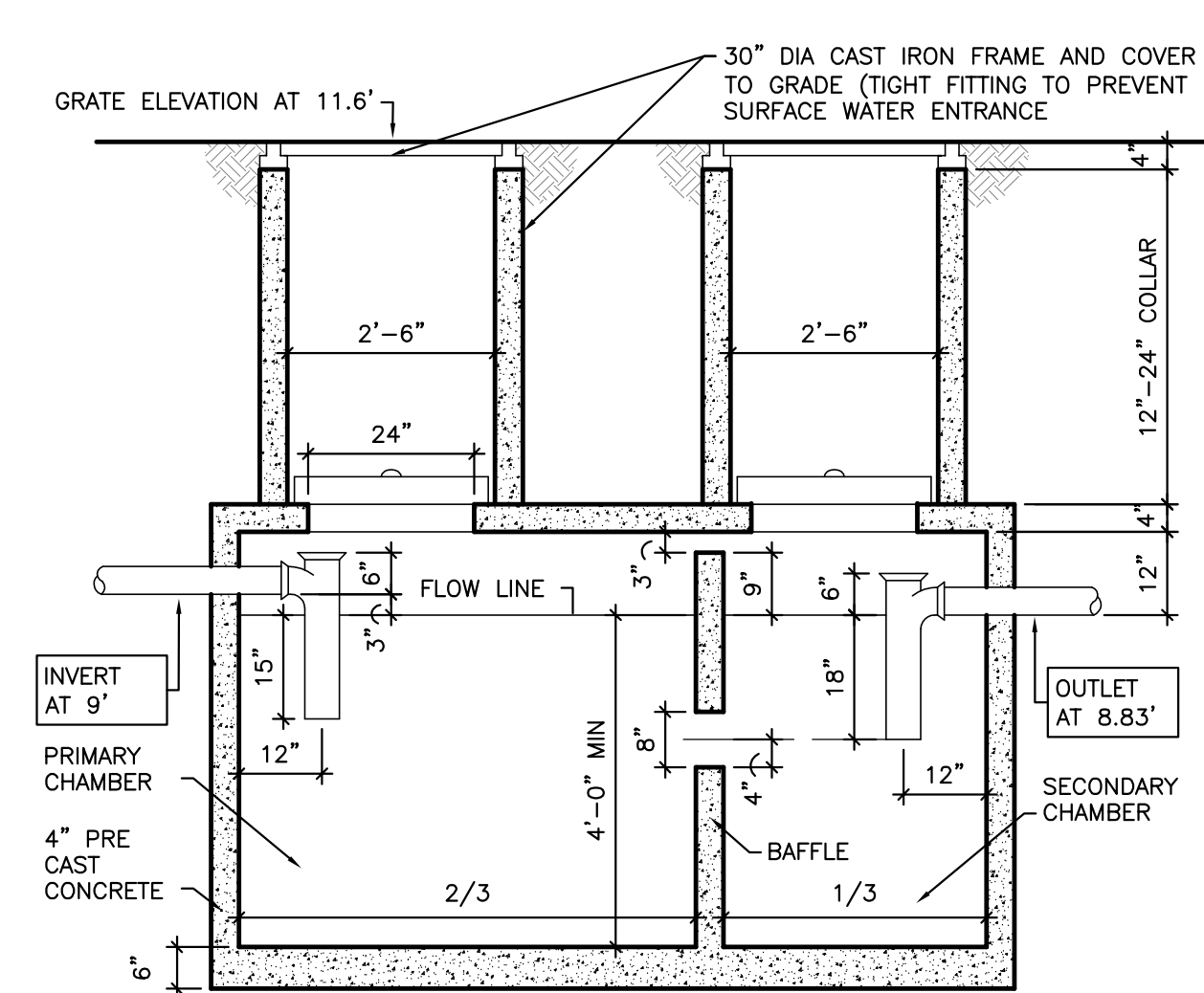
SITE PLAN SOIL BORING DETAILS

DATE: 8/2019
 SCALE: AS NOTED
 DRAWN: LB
 CHECKED: PR
 PROJECT: 2017-42
 CAD FILE: 2017-42-ZBA-4 D1

SEPTIC TANK CALCULATIONS	
PART ONE (SINGLE FAMILY RESIDENCE)	
250 GALLONS PER DAY X (4) BEDROOM STRUCTURE = 1,000 GPD	
USE A 1,000 GALLON SEPTIC TANK (TABLE 4, PAGE 36 "NASSAU COUNTY MANUAL OF ON SITE SEWAGE DISPOSAL")	
LEACHING POOL (A) CALCULATIONS	
PART ONE (SINGLE FAMILY RESIDENCE)	
75 GALLONS PER DAY (GPD) PER PERSON	
TWO (2) PEOPLE PER BEDROOM	
150 GALLONS PER DAY X (4) BEDROOM STRUCTURE = 600 GPD	
TOTAL = 600 GALLONS PER DAY	
600 GALLONS PER DAY DIVIDE BY (1) THEN DIVIDE BY 37.7 LF = 15.9 LIN FT REQUIRED	
(1) IS 1/2 RATED COLLARED SOIL / 37.7 IS THE CIRCUMFERENCE OF A 12" DIA. LEACHING POOL	
* USE (4) 12"-0" DIAMETER X 4'-0" LEACHING POOL (DOME, COLLAR, DUMMY RING NOT PART OF EFFECTIVE DEPTH)	
AREA OF LEACHING POOL = 100.88 CUBIC FEET PER LINEAR FOOT	
ONE CUBIC FOOT OF WATER EQUALS 7.48 LIQUID GALLONS	
CAPACITY OF LEACHING POOL = (4)403.52 CUBIC FEET OR (4)3,018.33 GALLONS	



A PRE-CAST SEPTIC TANK PLAN (1000 GAL.)
SCALE 1/2" = 1'-0"



B PRE-CAST SEPTIC TANK SECTION (1000 GAL.)
SCALE 1/2" = 1'-0"

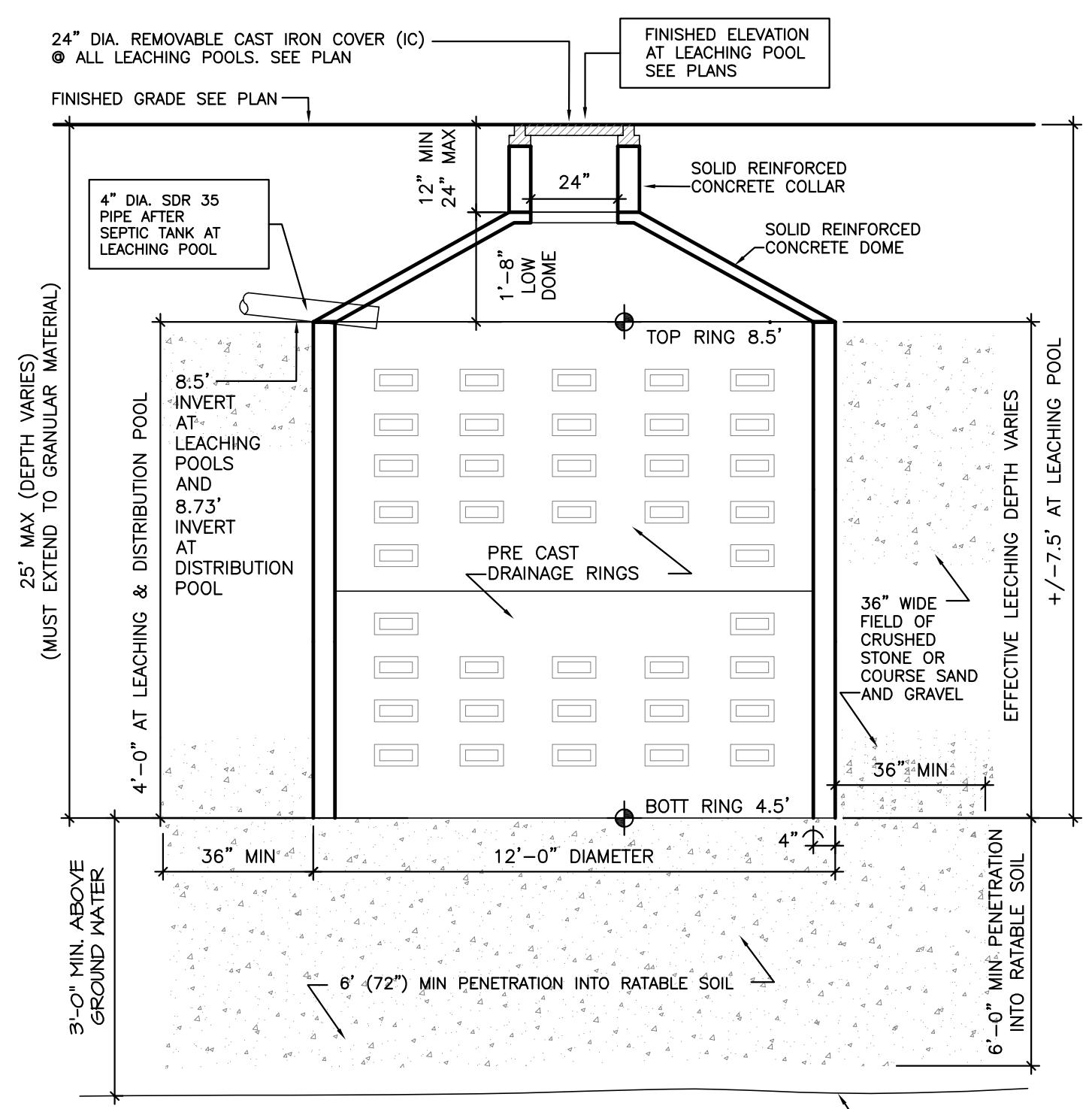
SITE PLAN GENERAL NOTES:

- ANY DAMAGE TO THE ADJOINING ROADWAYS RESULTING FROM WORK TAKING PLACE ON THE PROPERTY SHALL BE REPAIRED IN ACCORDANCE WITH THE VILLAGE REQUIREMENTS. ALL EDGES OF EXISTING PAVEMENTS SHALL BE SAW CUT, ESTABLISHED A NEAT, TRUE EDGE.

SEWAGE DISPOSAL SYSTEM NOTES:

- THE PROJECT CONSULTANT, A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER, MUST OVERSEE THE INSTALLATION OF THE ON SITE SEWAGE DISPOSAL SYSTEM. FOLLOWING COMPLETION OF ITS CONSTRUCTION, THE PROJECT CONSULTANT MUST CERTIFY TO THE VILLAGE THAT THE SYSTEM WAS PROPERLY DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NASSAU COUNTY DEPARTMENT OF HEALTH'S MANUAL OF ON-SITE SEWAGE DISPOSAL.
- IF DURING THE INSTALLATION OF THE SEWAGE DISPOSAL SYSTEM THE PROJECT CONSULTANT DETERMINES THAT THE ACTUAL LEACHING RATE OF THE SOIL IS LESS THAN THAT OF THE RATE THAT WAS USED IN THE DESIGN CALCULATIONS, WHICH IS INDICATED ON THE SITE PLAN, THEN THE REQUIRED ADJUSTMENTS MUST BE MADE IN THE NUMBER AND OR SIZE OF THE LEACHING POOLS THAT ARE TO BE INSTALLED. SHOULD IT BE DETERMINED DURING EXCAVATION FOR THE LEACHING POOLS THAT THE ACTUAL SOIL CONDITIONS ARE BETTER THAN THOSE THAT WERE USED IN THE DESIGN CALCULATIONS, THERE SHALL BE NO ADJUSTMENTS MADE TO THE SIZE OF THE PROPOSED SEWAGE DISPOSAL SYSTEM THAT IS SHOWN ON THE VILLAGE APPROVED SITE PLAN.

LOT COVERAGE CALCULATIONS	
BUILDING COVERAGE	= 2,598 SF
PORCHES	= 480 SF
WALKS	= 178 SF
DRIVEWAYS	= 2,854 SF
POOL AND POOL PATIO	= 1,878 SF
TOTAL LOT COVERAGE	= 7,988 SF
18,056 NET LOT AREA - 7,988 SF =	10,068 SF LAWN/LANDSCAPED AREA



C LEACHING AND DISTRIBUTION POOLS
SCALE NTS

STORM WATER DRAINAGE CALCULATIONS AT DRYWELL

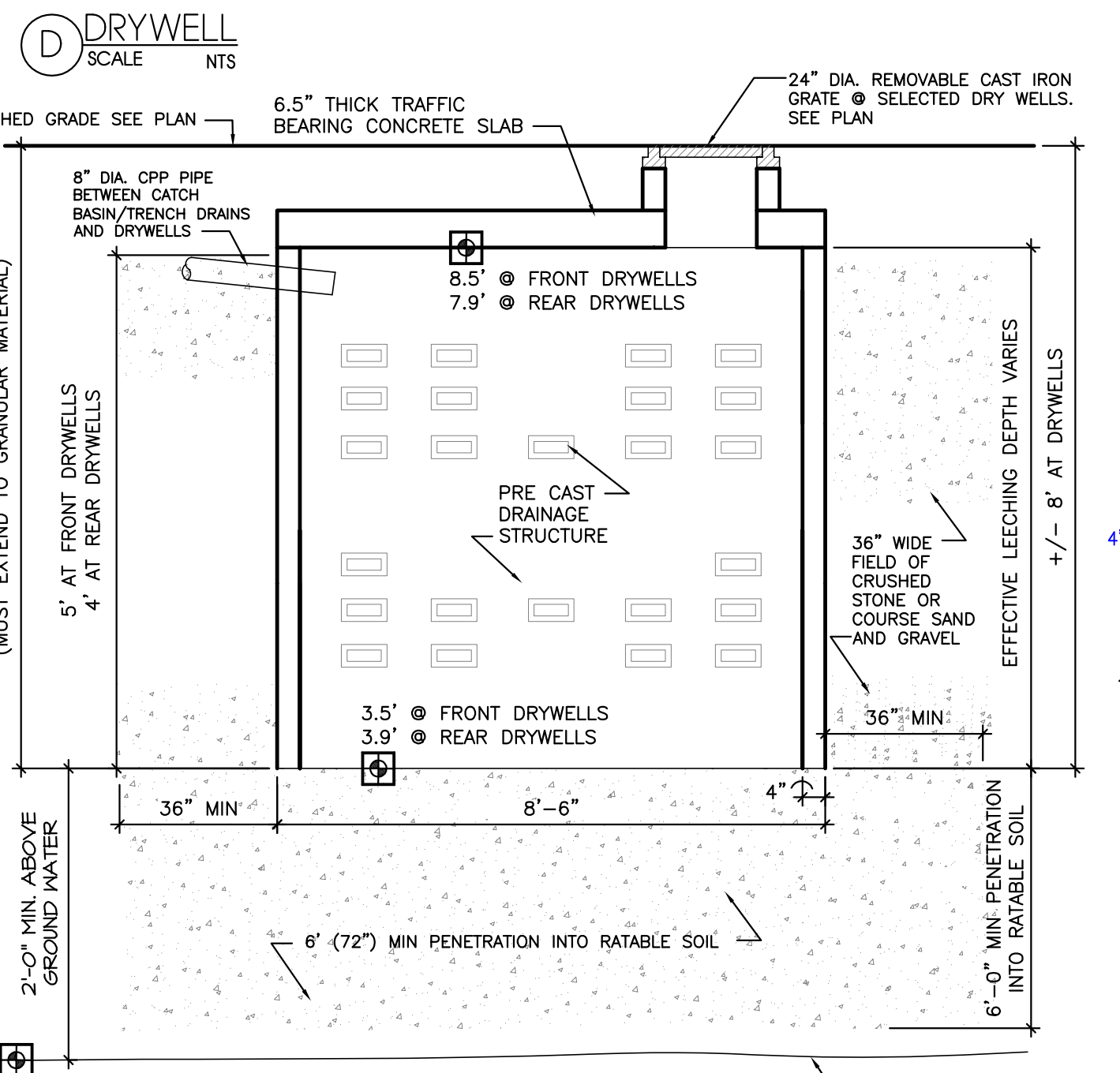
(NEW DRIVEWAYS, AND FRONT WALKS)
NET AREA = 3,032 SQ.FT.
RAIN INTENSITY = 3 INCHES RAINFALL AND 100% RUNOFF
3,032 SF X .25 DIVIDE BY 32 CUBIC FEET PER LIN. FOOT X (100% RUNOFF) = 23.68 LIN FOOT REQUIRED
* USE (5) 8'-6" X 4'-9" X 5' DEEP DRY WELL (DOME, COLLAR, DUMMY RING NOT PART OF EFFECTIVE DEPTH)
AREA OF DRY WELL = 160 CUBIC FEET PER LINEAR FOOT
ONE CUBIC FOOT OF WATER EQUALS 7.48 LIQUID GALLONS
CAPACITY OF DRY WELLS = (5) @ 160 = 800 CUBIC FEET OR (5) @ 1,197 = 5,985 GALLONS

(NEW DWELLING, PORCHES AND PATIOS)
NET AREA = 4,956 SQ.FT.
RAIN INTENSITY = 3 INCHES RAINFALL AND 100% RUNOFF
4,956 SF X .25 DIVIDE BY 32 CUBIC FEET PER LIN. FOOT X (100% RUNOFF) = 38.7 LIN FOOT REQUIRED
* USE (10) 8'-6" X 4'-9" X 4' DEEP DRY WELL (DOME, COLLAR, DUMMY RING NOT PART OF EFFECTIVE DEPTH)
AREA OF DRY WELL = 128 CUBIC FEET PER LINEAR FOOT
ONE CUBIC FOOT OF WATER EQUALS 7.48 LIQUID GALLONS
CAPACITY OF DRY WELLS = (10) @ 128 = 1,280 CUBIC FEET OR (10) @ 957 = 9,570 GALLONS

NOTES:

- TYPE OF SOIL AND SOIL ABSORPTION RATE TO BE VERIFIED DURING EXCAVATION OF LEACHING POOLS. VILLAGE OF SANDS POINT ARCHITECT TO INSPECT AND APPROVE THE LEVEL OF GRANULAR SOIL FOUND AND THE INSTALLATION OF SEPTIC AND STORM WATER SYSTEMS.
- ACCEPTABLE SOIL IS SOIL W/ AN ABSORPTIVE CAPACITY OF AT LEAST 2 GALLONS/SQUARE FOOT/DAY. FULL RATE COURSE, GRANULAR SOIL HAS PERMEABILITY OF 4 GALLONS/SQUARE FOOT/DAY.

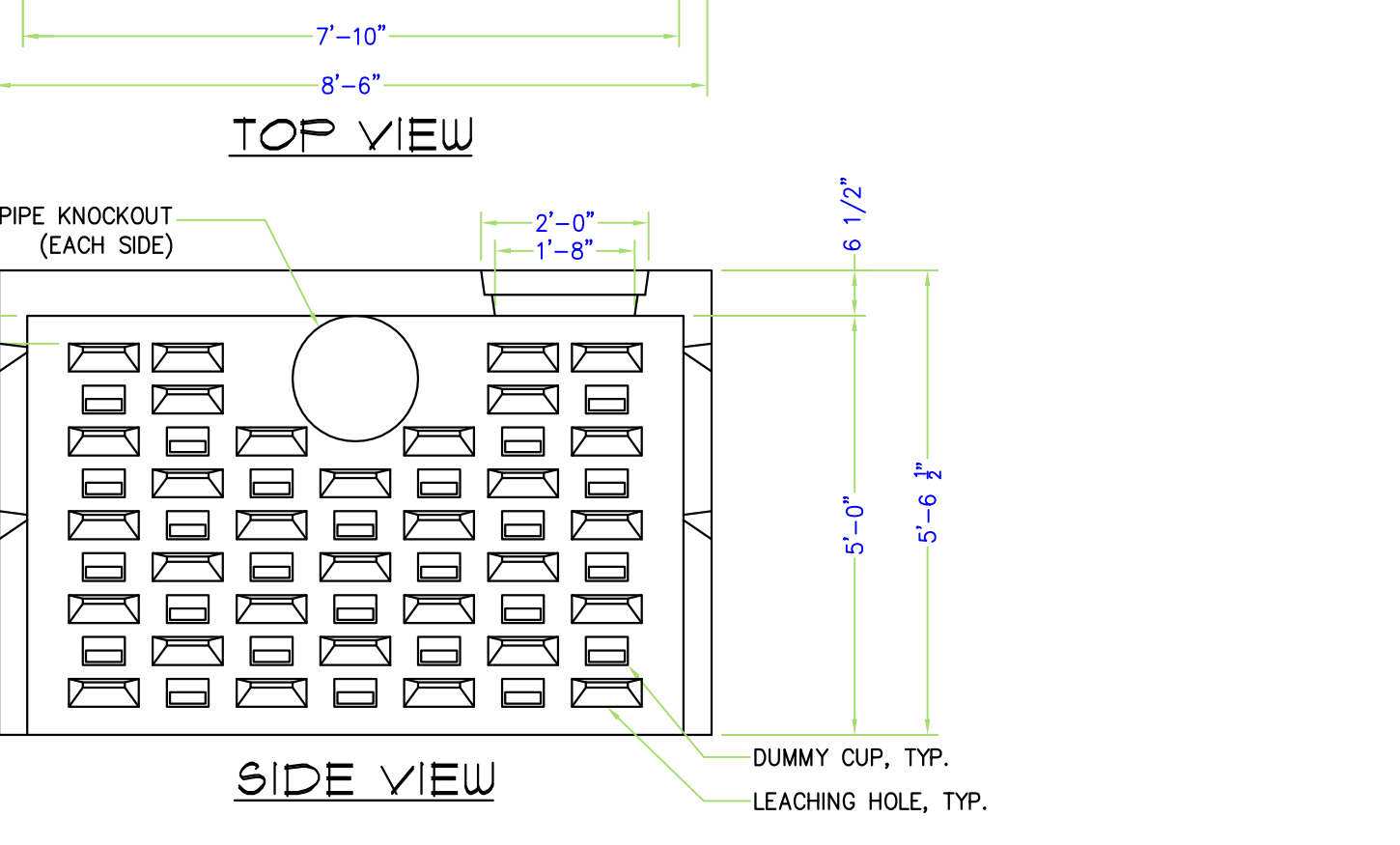
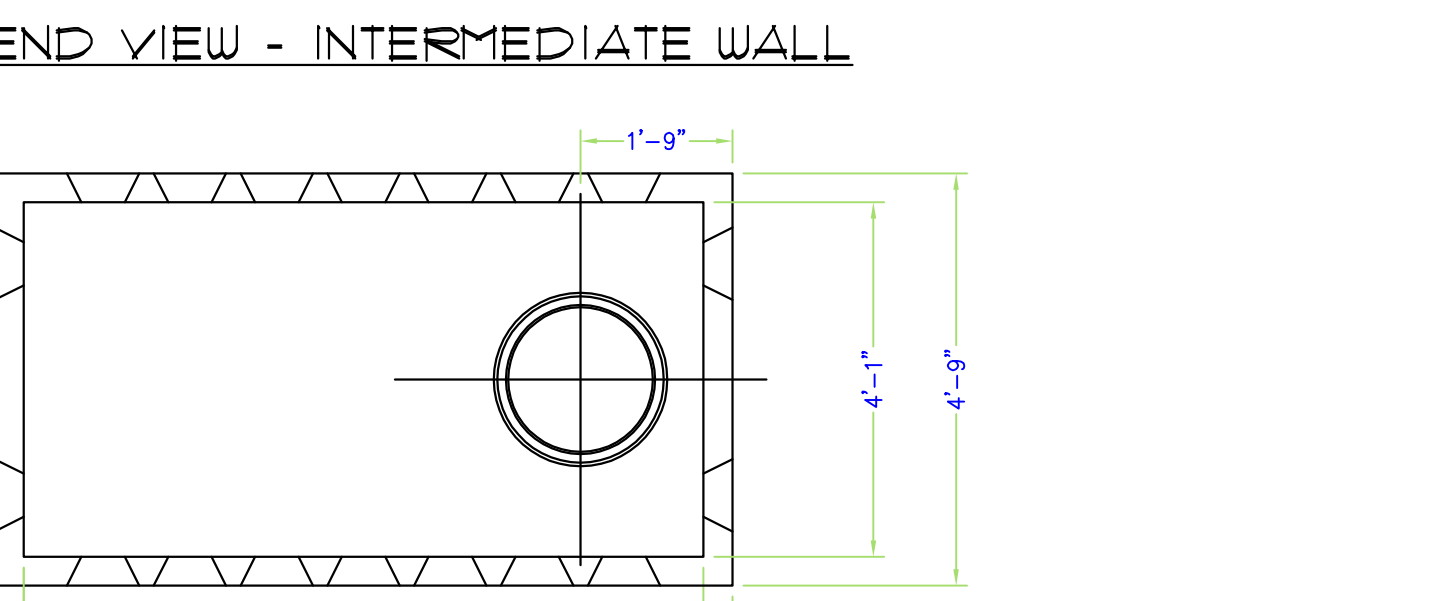
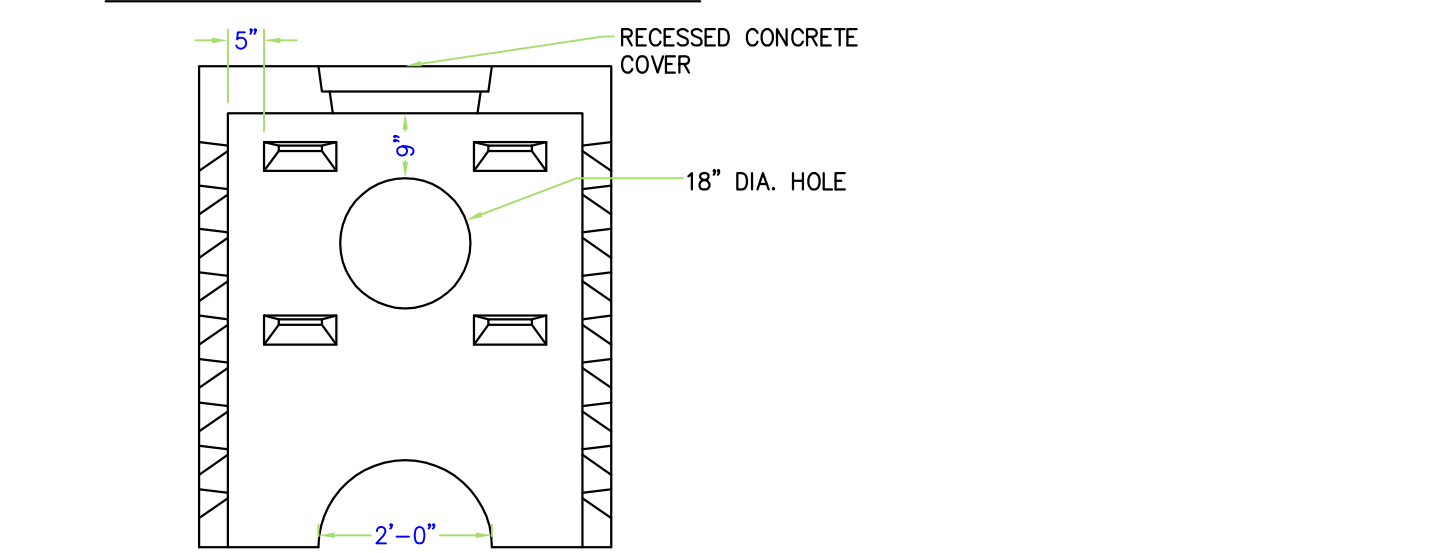
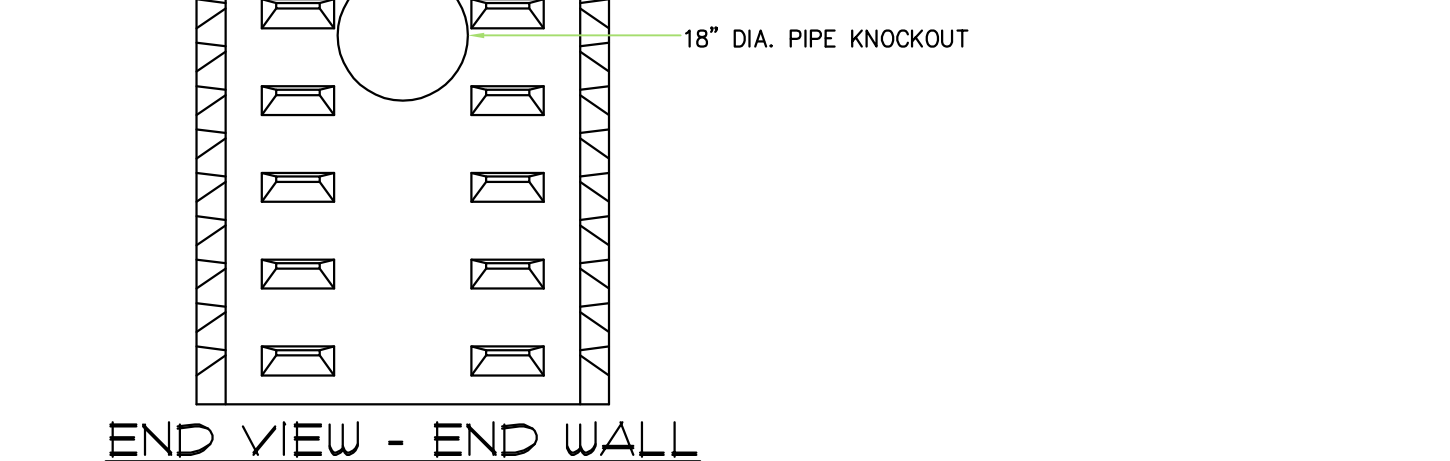
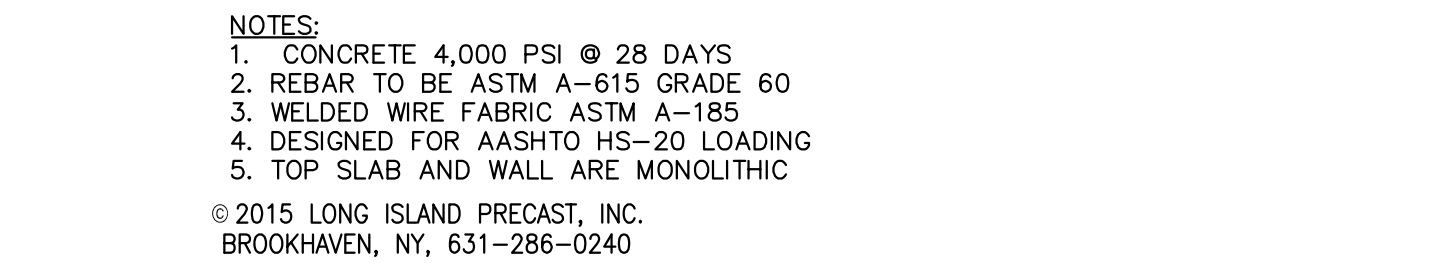
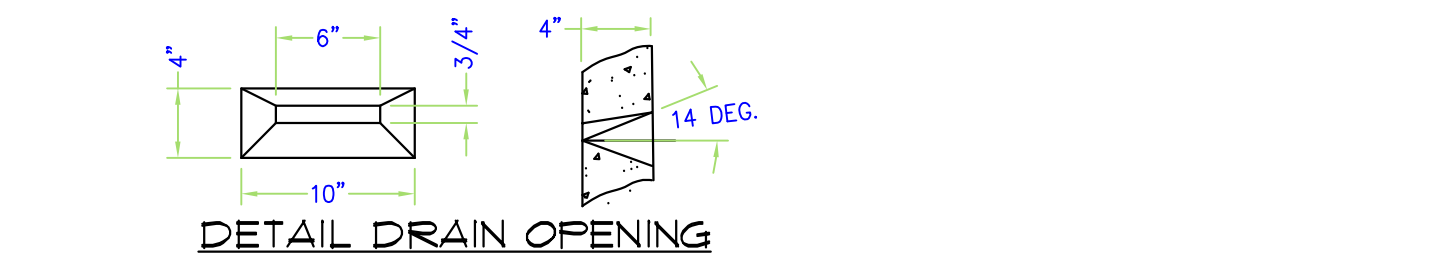
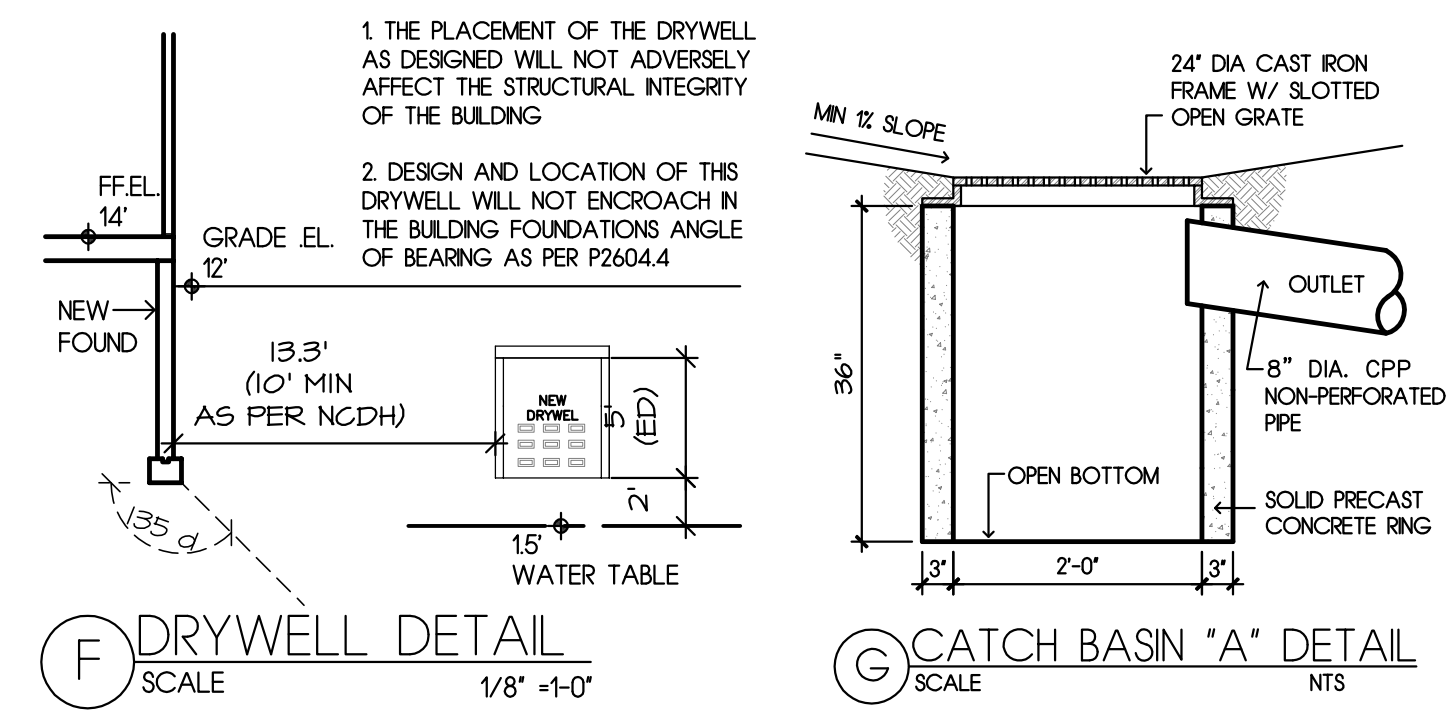
LEACHING GALLEY DATA							
INTERNAL WALL HGT.	DRAIN WALL AREA (SF)	INTERNAL VOLUME CF	GAL	APPROX. DRAIN OPENINGS TOTAL	SIZE	ANGLE	WEIGHT (LB.)
1'-0"	17.0	32	239	12	3/4" X 6"	14 DEG.	4,150
1'-6"	25.5	48	359	22	3/4" X 6"	14 DEG.	4,730
2'-0"	34.0	64	479	20	3/4" X 6"	14 DEG.	5,325
2'-6"	42.5	80	598	26	3/4" X 6"	14 DEG.	5,905
3'-0"	51.0	96	718	34	3/4" X 6"	14 DEG.	6,485
3'-6"	59.5	112	838	40	3/4" X 6"	14 DEG.	7,065
4'-0"	68.0	128	957	48	3/4" X 6"	14 DEG.	7,645
4'-6"	76.5	144	1077	54	3/4" X 6"	14 DEG.	8,225
5'-0"	85	160	1197	62	3/4" X 6"	14 DEG.	8,805



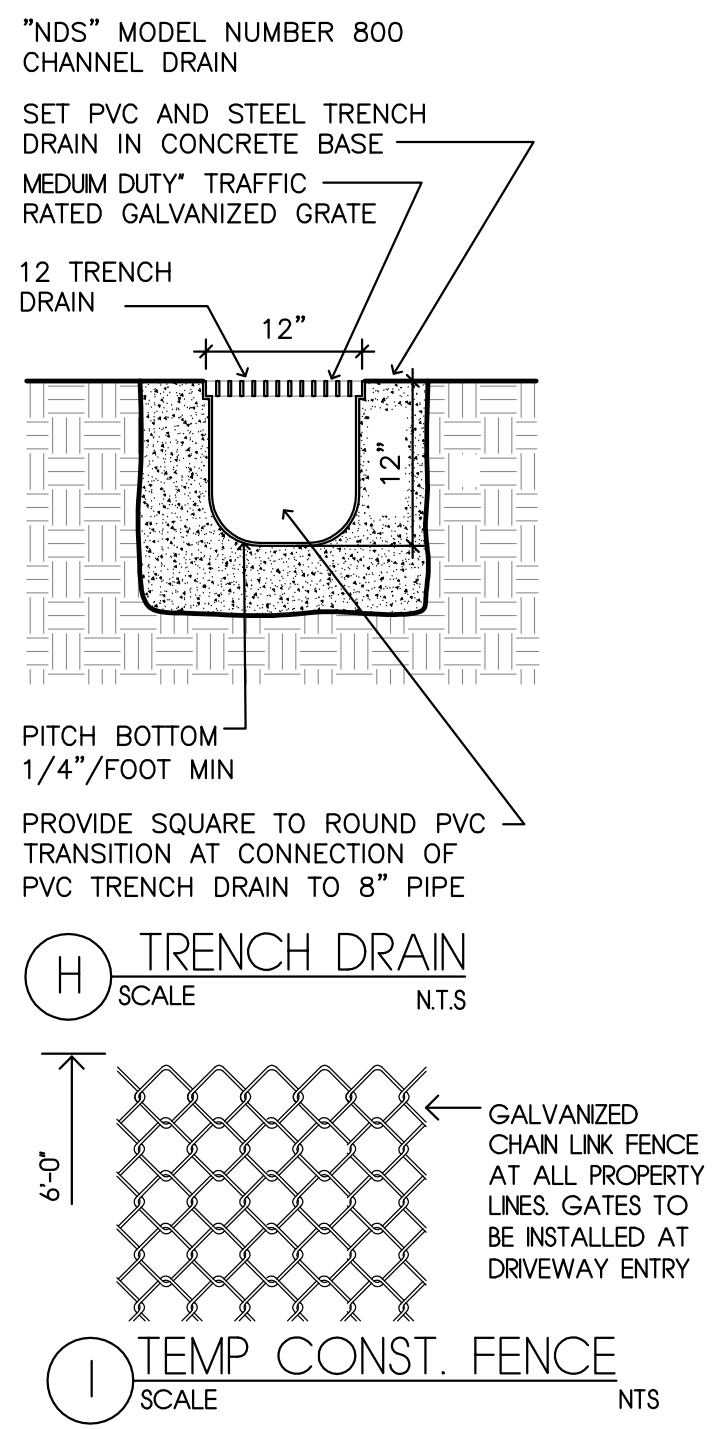
D DRYWELL
SCALE NTS



E LEACHING GALLEY DRYWELL
SCALE NTS



SIDE VIEW
SCALE NTS



DRAWINGS FOR ZONING AND PLANNING BOARD REVIEW

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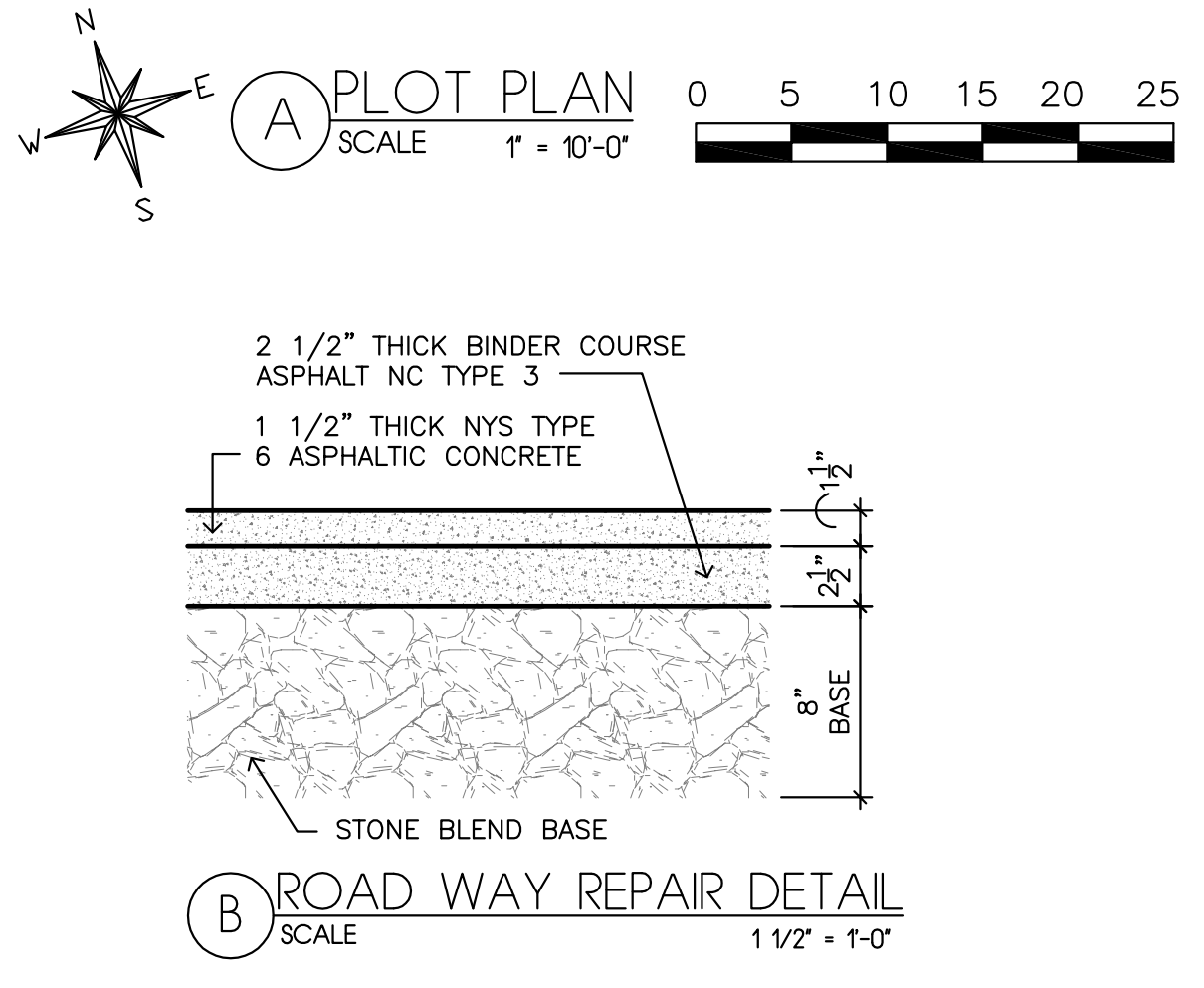
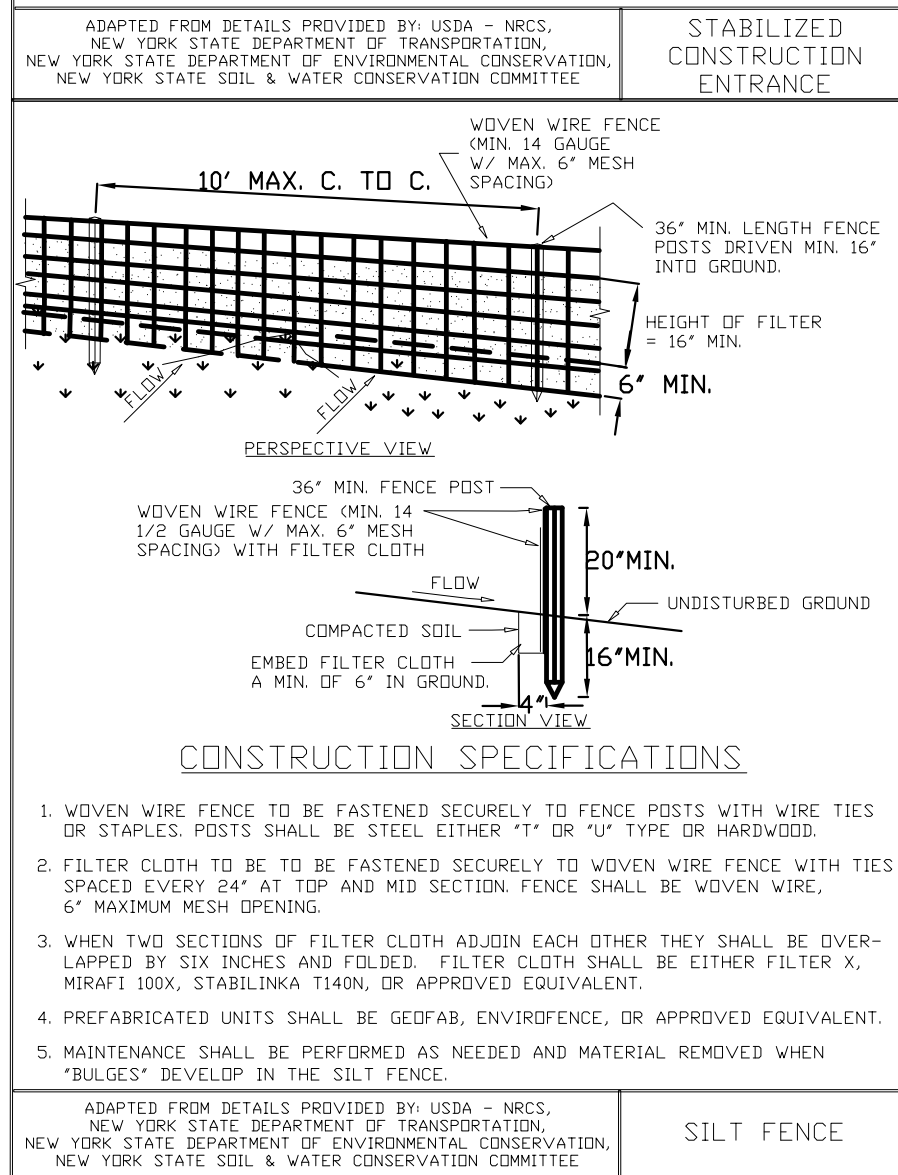
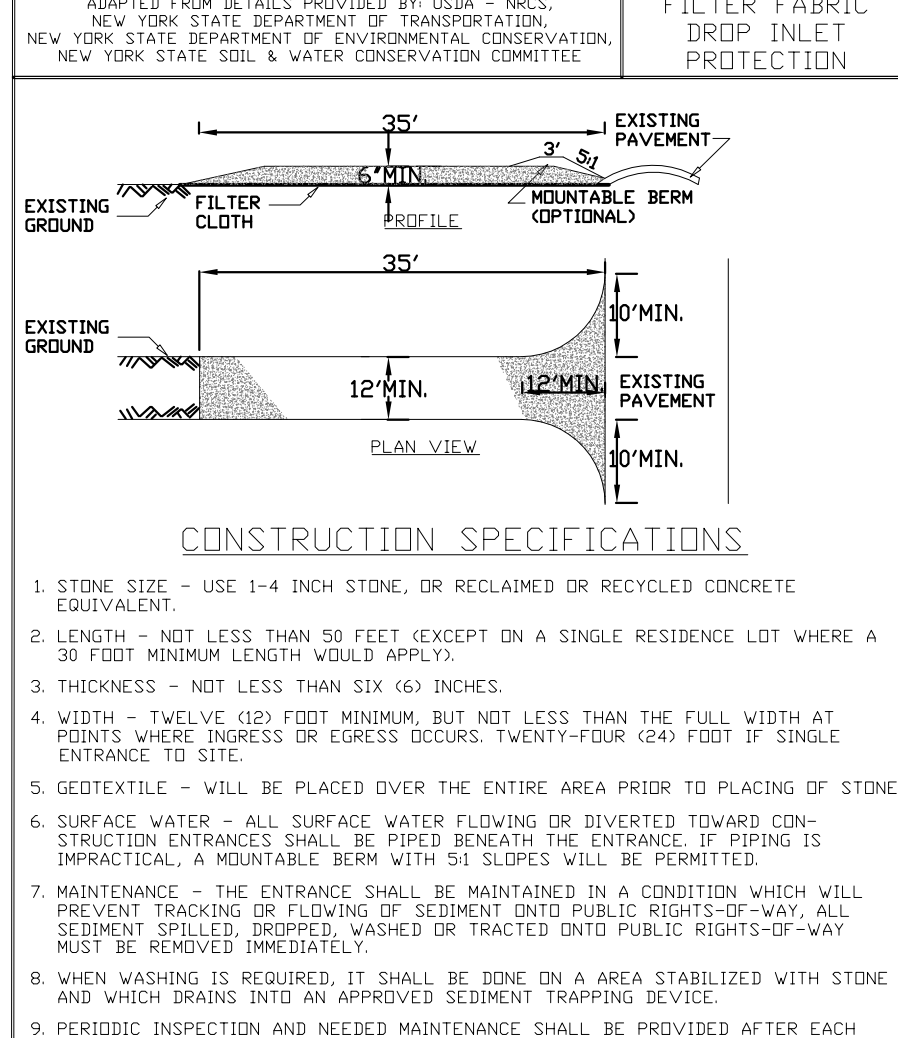
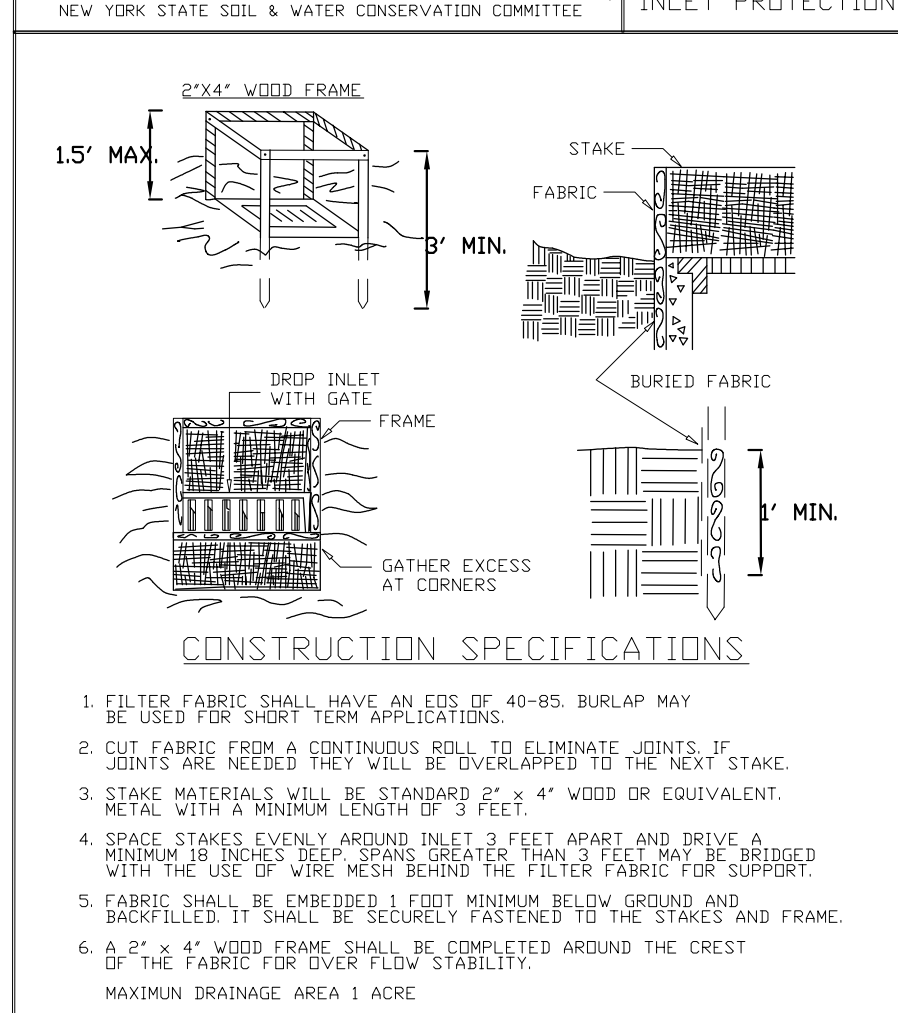
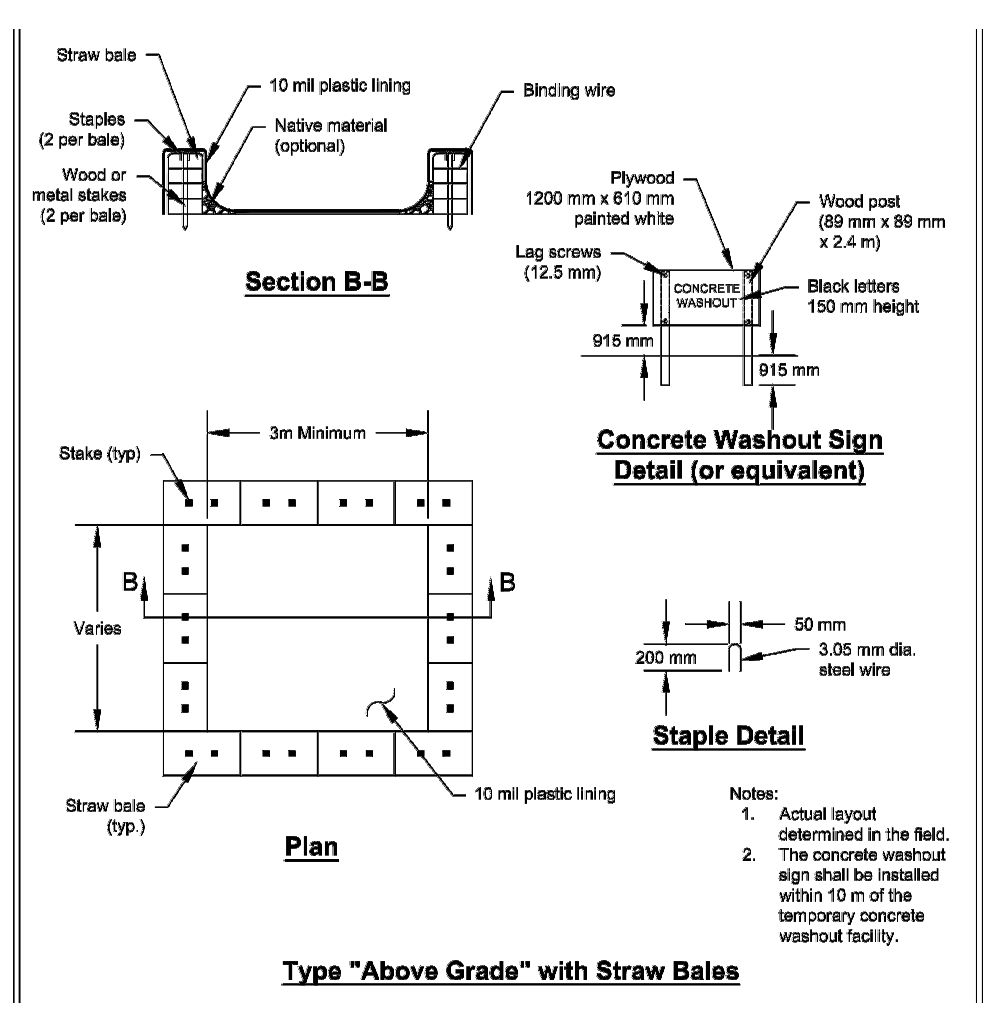
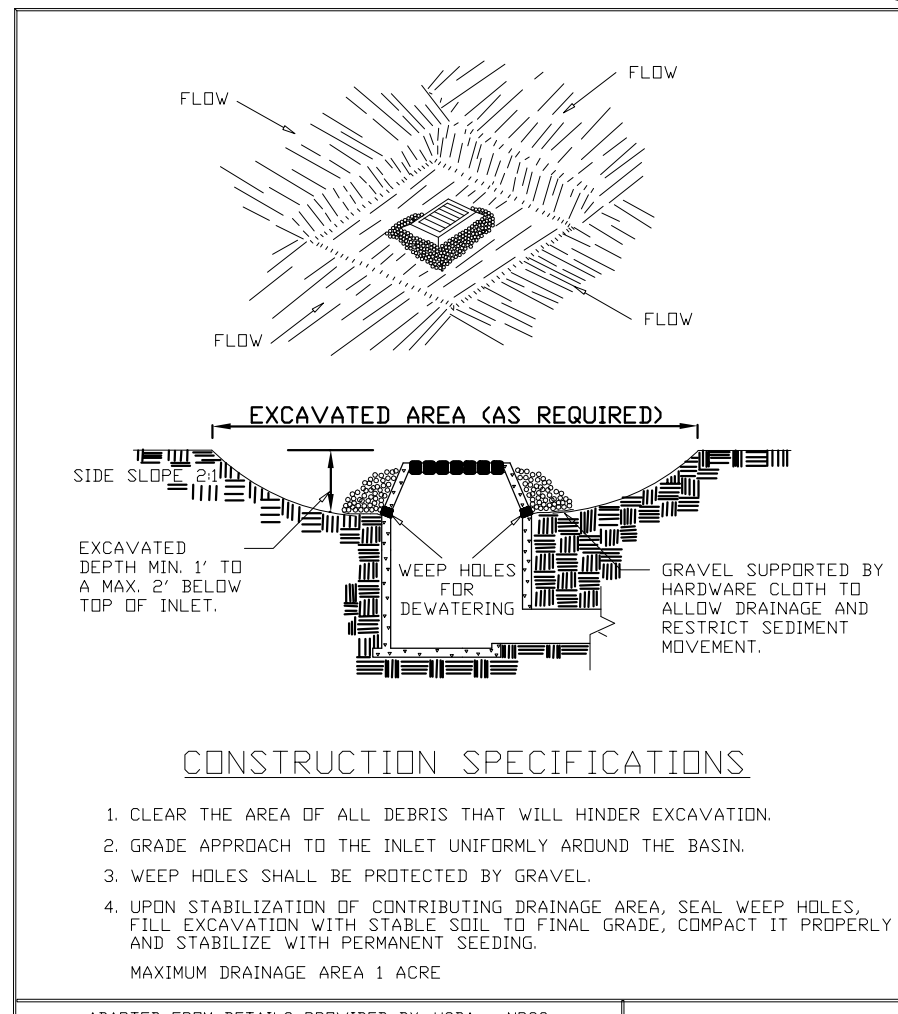
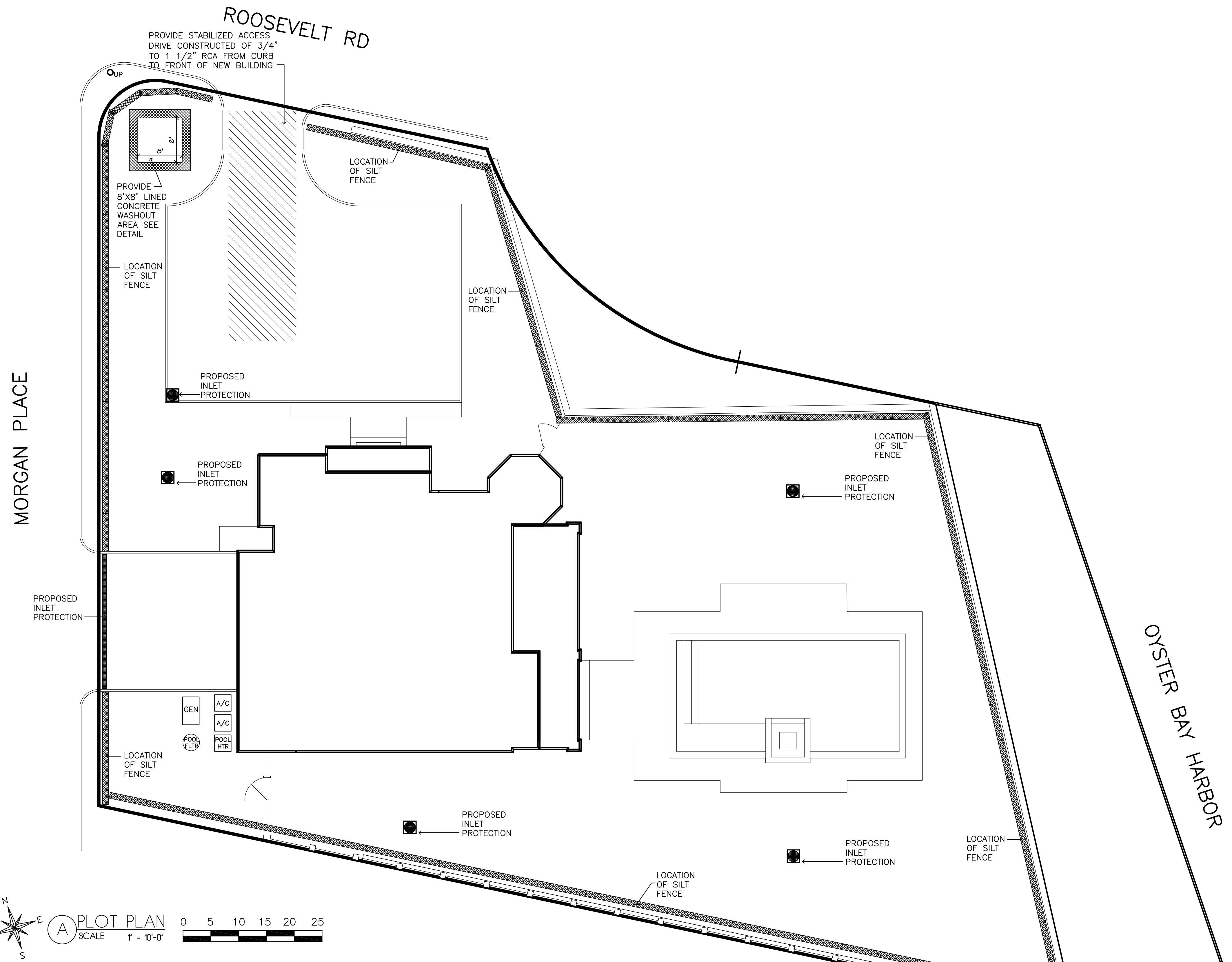
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SECTION 28 - BLOCK 55 - LOT 13

SITE DETAILS

DATE: 8/2019
SCALE: AS NOTED
DRAWN: LB
CHECKED: PR
PROJECT: 2017-42
CAD FILE:
2017-42-ZBA-4 01



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EROSION CONTROL PLAN

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 CAD FILE:
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