

November 9, 2020

Attn:**Mr. Joseph Richardson**

Building Inspector

Incorporated Village of Centre Island

303 Centre Island Road,

Oyster Bay, New York 11771

Re:**Hannity Residence**

406 Centre Island Road, Oyster Bay, New York, 11771

Incorporated Village of Centre Island

Section:28 Block: "F" Lot: 303 & 304**Mr. Richardson,**

Please find the corresponding documents included in package for board of zoning appeals variance.

- 1- Notice of Denial Letter dated November 3, 2020
- 2- Check for filing fees: Check # 2685 dated November 9, 2020 in the amount of \$3,000.00
Check for clerk fees: Check # 2684 dated November 9, 2020 in the amount of \$300.00
- 3- Application to board of appeals for variance
- 4- Disclosure statement
- 5- Short Environmental Assessment Form
- 6- Proposed gas tanks and generators variance submission (sheet SP-1) dated November 9, 2020
- 7- 100' radius map with names and tax lot numbers for adjoining land owners (sheet P-1 dated Nov. 9, 2020)
- 8- Proposed tree line Diagram (sheet P-2 dated Nov. 9, 2020)
- 9- Existing survey by Neil Grange licensed land surveyor dated September 25, 2020

Any comments, questions and or suggestions, please do not hesitate to contact me at any time.

In advance, thank you very much for your input on this project.

Respectfully,

Diego E. Fuschetto

Architectural Project Manager

DEF Management LLC

Village of Centre Island

303 Centre Island Road
Oyster Bay NY, 11771
(516)922-0606

11/03/2020

Sean Hannity
406 Centre Island Road
Centre Island, NY 11771

Re: **Application to install 2 generators in front yard.**

NCTM: Section: 28 Block: F Lot: 303 & 304 Zone: A-1

Notice of Zoning Denial

Dear Resident,

Your most recent application for a building permit has been DENIED for the following reason(s):

- Pursuant to Village of Centre Island Code, section 122-10.C.(3): No accessory structure or building whatsoever shall be located closer to the front lot line than the rear line of the principal dwelling to which it is accessory.

Proposed generators are both entirely located in the front yard between the front entry of the dwelling and the front yard lot line. Both generators are forward of the rear line of the principal dwelling to which it is accessory.

Should you wish to pursue this application as submitted, a variance must be obtained from the Centre Island Board of Zoning Appeals. If you are successful in obtaining the required variance, you will then be required to submit to the Architectural Review Board for approval.

If you have any questions, please contact me at Village Hall or on my cell phone at (516) 659-0010.


Joseph E. Richardson, Building Inspector

9. State the zoning requirements, the proposed dimensions, and the differences for which the variance is requested. (Example: The proposed building/addition will be only 35 feet rather than the required 50 feet from side line)

NO ACCESSORY STRUCTURE TO BE FORWARD OF REAR LINE OF PRINCIPLE BUILDING

PROPOSED GENERATORS LOCATED 164'-8 1/4" FORWARD OF REAR LINE

10. In making its determination, the Board of Zoning Appeals must take into consideration the benefit to the Applicant if the variance is granted weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board shall also consider the following. Please provide a brief explanation of the 5 items following and be prepared to address each at the time of the hearing: (use an additional page if necessary)

- a. Will an undesirable change be produced in the character of the neighborhood or will a detriment to nearby properties be created by the granting of the area variance?

NO, LANDSCAPE SCREENING WILL HIDE GENERATORS
FROM STREET AND NEIGHBORING VIEWS

- b. Can the benefit sought in this appeal be achieved by some method feasible other than the requested area variance? Please explain. NO, ALL MAIN GAS + ELEC.

LINEs ALREADY ESTABLISHED IN CONDUIT UNDERGROUND.

- c. Is the requested area variance substantial? NO

- d. Will the granting of the proposed variance have an adverse effect or impact on the physical or environmental condition of the neighborhood? Please explain. _____

NO ADVERSE EFFECT ON CONDITION OF NEIGHBORHOOD

- e. Was the alleged difficulty necessitating the requested variance self-created by the Appellant? NO, TWO NEW GENERATORS WILL REPLACE EXISTING

(1) GENERATOR ALREADY LOCATED IN FRONT YARD.

The Board of Zoning Appeals may grant only the minimum variance, if any, that it shall deem necessary and adequate at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

11. The section, block, lot, name(s), and mailing addresses of all property owners within 100 feet of property of Appellants(s) are as follows: (Please use an additional page if necessary)

Sec., Blk., Lot	Name	Mailing Address (Street No.; Street; PO Box; Zip)
28 F 302	SANDY KLEIN/ ALLA LEVINE	575 LEXINGTON AVE. 19 th FLOOR NEW YORK, NY 10022
28 D 7	STRIANO HOLDINGS LLC	246 PARK AVENUE GARDEN CITY PARK, NY 11040
28 D 202	GE + NANCY G MANOLOVICI	1060 5 th AVENUE NEW YORK, NY 10128
28 D 14	GERRY + NANCY MANOLOVICI	1060 FIFTH AVENUE NEW YORK, NY 10128
28 D 3	LUDLAM-SMITH CEMETERY	HORSESHOE ROAD RFD 1 BOX 72 MILL NECK, NY 11765
28 D 2	CARTER F. BALES	407 CENTRE ISLAND RD. OYSTER BAY, NY 11771
28 F 305	BARRIE CURTIS SPIES	408 CENTRE ISLAND RD. OYSTER BAY, NY 11771

AFFIRMATION ON SEARCH OF NEIGHBORING PROPERTY OWNERS

DIEGO E. FUSCHETTO deposes and says:

That he/she is over the age of eighteen and resides at 15 BUCKRAM ROAD

LOCUST VALLEY, NY 11560

That on the 6 day of NOVEMBER, 2020, deponent searched the current Village or Town tax roll records and hereby certifies that such records show the above listed current title owners of the above listed properties within 100 feet of the subject premises.

I HAVE READ THE FOREGOING AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW.

Date: NOVEMBER 9, 2020



Record Search Deponent's Signature

I/We, DIEGO E. FUSCHETTO the Applicants/Appellants herein, do hereby authorize the members of the Board of Zoning Appeals to inspect our property as it relates to the foregoing variance application during reasonable hours and upon said Board of Zoning Appeals members providing reasonable notice of said inspection. I/We consent to the Board of Zoning Appeals members or the Clerk of the Board of Zoning Appeals to contact me/us at the phone number provided herein to arrange said inspection.



Lardowner(s) Signature(s)

Date NOVEMBER 9, 2020



Applicant(s)/Appellant(s) Signature(s)

WHEREFORE, in accordance with the foregoing alleged facts Applicant(s) request said Board of Appeals to vary the strict application of the aforesaid provision(s) of said Village's Building Zone Ordinance, to grant the relief requested and grant such other and further or lesser relief as to this Board seems just and proper.

I HAVE READ THE FOREGOING APPEAL /APPLICATION AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW.

NOVEMBER 9, 2020

Date



DIEGO E. FUSCHETTO



Applicant(s)/Appellant(s) Signature(s)

(Note: General Municipal Law of the State of New York, Section 809 enacted in 1969 requires the filing of the following completed Disclosure Statement)

DISCLOSURE STATEMENT

DIEGO E. FUSCHETTO deposes and says:

1. FOR INDIVIDUAL

a. I am over the age of 21 and reside at 15 BUCKRAM ROAD
LOCUST VALLEY, NY 11560

b. I am the AGENT of the property designated as Section 28 Block F Lot(s) 303+ 304
(owner/contract vendee - insert one)

on the Nassau County Land and Tax Map which forms the subject matter of this application and am fully familiar with all the facts and circumstances hereinafter set forth.

1. FOR CORPORATION (Strike out if not applicable)

a. I am the AGENT FOR of the SPMK IV NY, LLC with offices
(Office Held) (Name of Corp.)

located at: 3735 CHEROKEE STREET, KENNESAW, GEORGIA 30144
and am fully familiar with all the facts and circumstances hereinafter set forth.

b. The corporation was incorporated under the Laws of the State of GEORGIA and is the OWNER of the property designated as Section 28 Block F Lot(s) 303+ 304 on the Nassau County Land and Tax Map.

c. The following are the names and residences of each officer, director and shareholder: (Set forth names, residences and relationship to corp.) (Add additional sheet if necessary.)

N/A

d. That the corporate stock of said corporation has not been pledged to any person nor has any agreement been made to pledge the said stock: (except: If any, set forth details.)

1. FOR PARTNERSHIP (Strike out if not applicable.)

a. That I am a _____ of the _____
(Partner, Joint Venturer, etc.) (Name of Partnership)
and am fully familiar with all the facts and circumstances hereinafter set forth.

b. That the above partnership was established in _____
(Place)

on _____ and is the _____ of the property designated as
(Owner or Contract Vendee)
Section _____ Block _____ Lot(s) _____ on the Nassau County Land and Tax Map.

c. That the following are the names, addresses and interests, respectively, of all partners (joint venturers, etc.): (Add additional sheet if necessary)

2. That there are no encumbrances or holders of any instruments creating an encumbrance upon the subject property (except: if any set forth details.)

3. That neither deponent nor any other person mentioned in this statement is a Village officer or employee, or is related to a Village officer or employee. (except: if any set forth details.)

4. That no State Officer or employee or local municipal officer or employee in the Nassau County or his spouse or a person by consanguinity related to either of them within the third degree is (are) the Applicant(s) or an officer, director or employee of the Applicant(s), or legally or beneficially owns or controls the corporate stock of the Applicant(s) or is a partner of the Applicant(s) or associated with the Applicant(s) in a joint venture or has an agreement with the Applicant(s), expressed or implied whereby his compensation for services is to be dependent or contingent upon the favorable exercise of discretion in the granting of the application herein. (except: if any set forth details.)

5. That in the event there is any change in the matters set forth herein prior to the public hearing relating to the property affected hereby, deponent(s) will file with the Village a supplemental statement indicating the details of such change within 48 hours of such change.

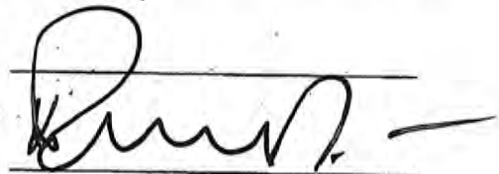
I HAVE READ THE FOREGOING AND UNDERSTAND THAT ANY FALSE STATEMENT MADE THEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW.

NOVEMBER 9, 2020

Date

☞

☞



Applicant(s) Signature(s)

617.20
Appendix B
Short Environmental Assessment Form

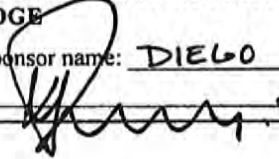
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information																		
Name of Action or Project: GENERATOR INSTALLATION																		
Project Location (describe, and attach a location map): 406 CENTRE ISLAND ROAD, OYSTER BAY, NY 11771																		
Brief Description of Proposed Action: INSTALL (2) TWO NEW GENERATORS IN FRONT YARD																		
Name of Applicant or Sponsor: DIEGO E. FUSCHETTO		Telephone: 516-984-6878																
Address: 15 BUCKRAM ROAD		E-Mail:																
City/PO: LOCUST VALLEY		State: NY	Zip Code: 11560															
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 50%; padding: 2px;">NO</td><td style="width: 50%; padding: 2px;">YES</td></tr><tr><td style="text-align: center; padding: 2px;">☒</td><td style="text-align: center; padding: 2px;">☐</td></tr></table>	NO	YES	☒	☐											
NO	YES																	
☒	☐																	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 50%; padding: 2px;">NO</td><td style="width: 50%; padding: 2px;">YES</td></tr><tr><td style="text-align: center; padding: 2px;">☒</td><td style="text-align: center; padding: 2px;">☐</td></tr></table>	NO	YES	☒	☐											
NO	YES																	
☒	☐																	
3.a. Total acreage of the site of the proposed action? 6.2516 6.2516 acres																		
b. Total acreage to be physically disturbed? _____ acres																		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 6.2516 acres																		
4. Check all land uses that occur on, adjoining and near the proposed action. <table style="width: 100%;"><tr><td>☐ Urban</td><td>☐ Rural (non-agriculture)</td><td>☐ Industrial</td><td>☐ Commercial</td><td>☒ Residential (suburban)</td></tr><tr><td>☐ Forest</td><td>☐ Agriculture</td><td>☐ Aquatic</td><td colspan="2">☐ Other (specify): _____</td></tr><tr><td>☐ Parkland</td><td colspan="4"></td></tr></table>				☐ Urban	☐ Rural (non-agriculture)	☐ Industrial	☐ Commercial	☒ Residential (suburban)	☐ Forest	☐ Agriculture	☐ Aquatic	☐ Other (specify): _____		☐ Parkland				
☐ Urban	☐ Rural (non-agriculture)	☐ Industrial	☐ Commercial	☒ Residential (suburban)														
☐ Forest	☐ Agriculture	☐ Aquatic	☐ Other (specify): _____															
☐ Parkland																		

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO ☐	YES ☒	N/A ☒
b. Consistent with the adopted comprehensive plan?	☐	☐	☒
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO ☒	YES ☐	
b. Are public transportation service(s) available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☒	☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO ☐	YES ☐	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>N/A</u>	NO ☒	YES ☐	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>N/A</u>	NO ☒	YES ☐	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO ☒	YES ☐	
b. Is the proposed action located in an archeological sensitive area?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO ☐	YES ☒	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☒	☐	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☒ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO ☐	YES ☐	
16. Is the project site located in the 100 year flood plain?	NO ☐	YES ☒	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO ☒	YES ☐	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO ☒	YES ☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO ☒	YES ☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO ☒	YES ☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>DIEGO E. FUSCHETTO</u> Date: <u>NOVEMBER 9, 2020</u> Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☒	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☒	☐
3. Will the proposed action impair the character or quality of the existing community?	☒	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☒	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☒	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☒	☐
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	☒ ☒	☐ ☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☒	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☒	☐

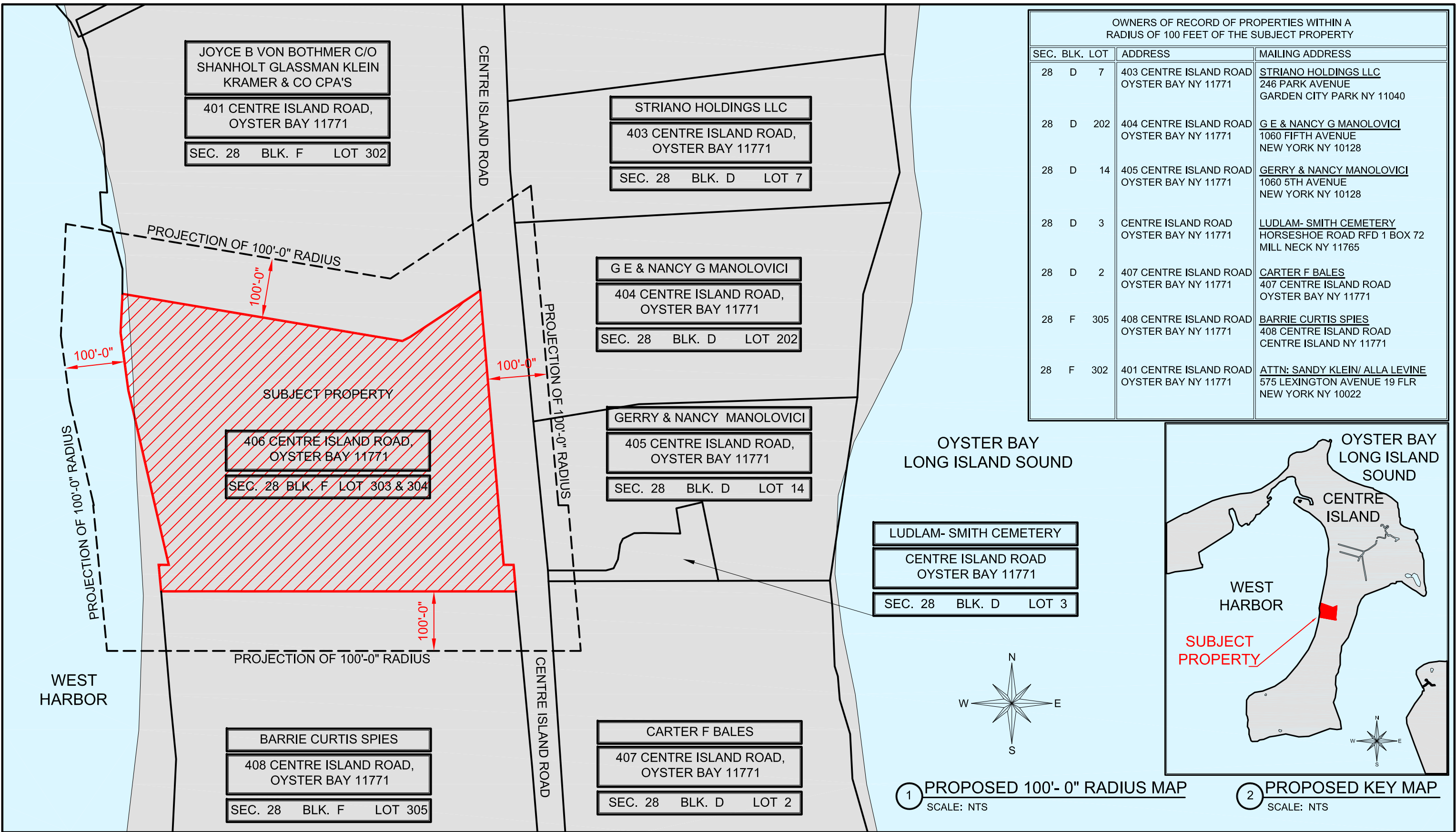
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☒	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☒	☐

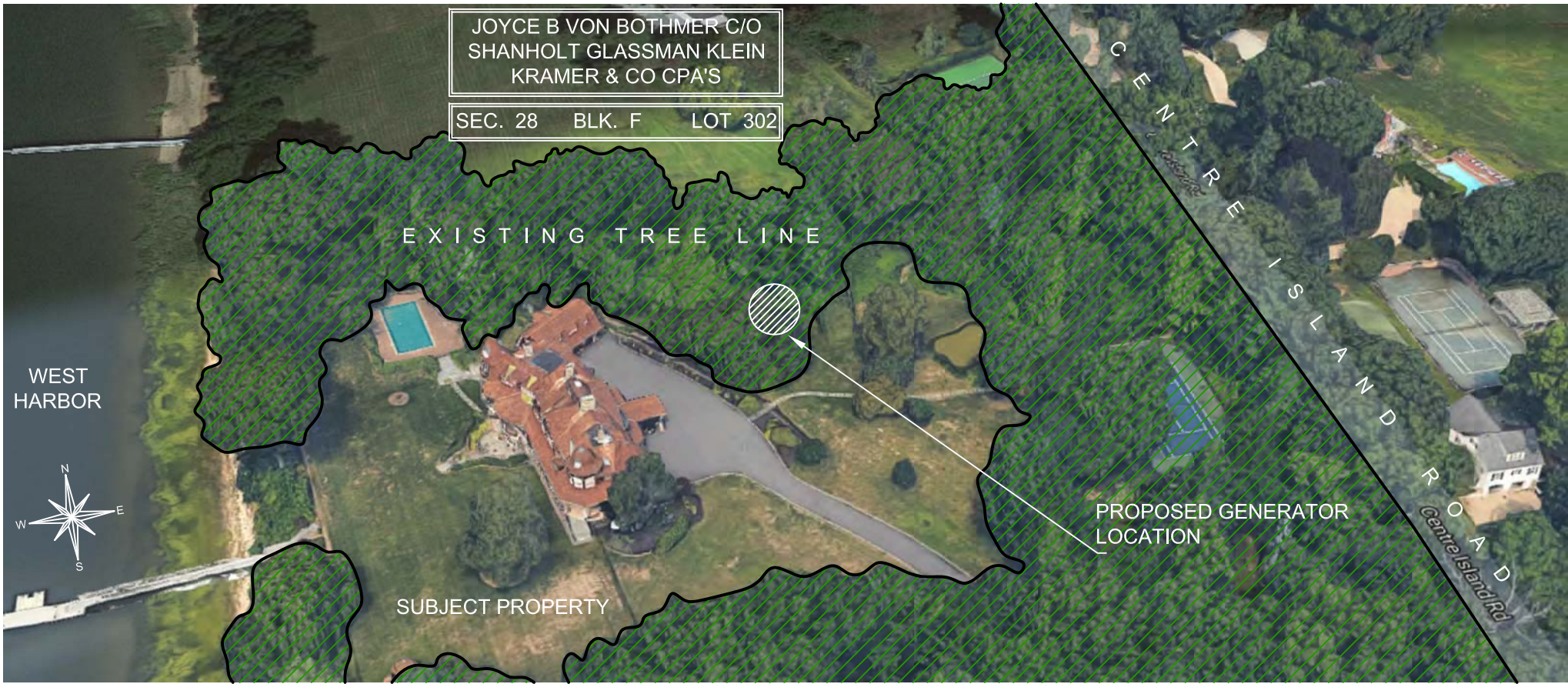
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)	

PRINT

RESET





EXISTING TREE LINE & PROPOSED GENERATOR
& LP TANK DIAGRAMS

1
SCALE: NTS

OWNERSHIP AND USE OF DOCUMENTS:
DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF
PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE
PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE
NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER
PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES,
THEN THOSE PROPERLY AUTHORIZED BY CONTRACT,
WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF
THE ARCHITECT.

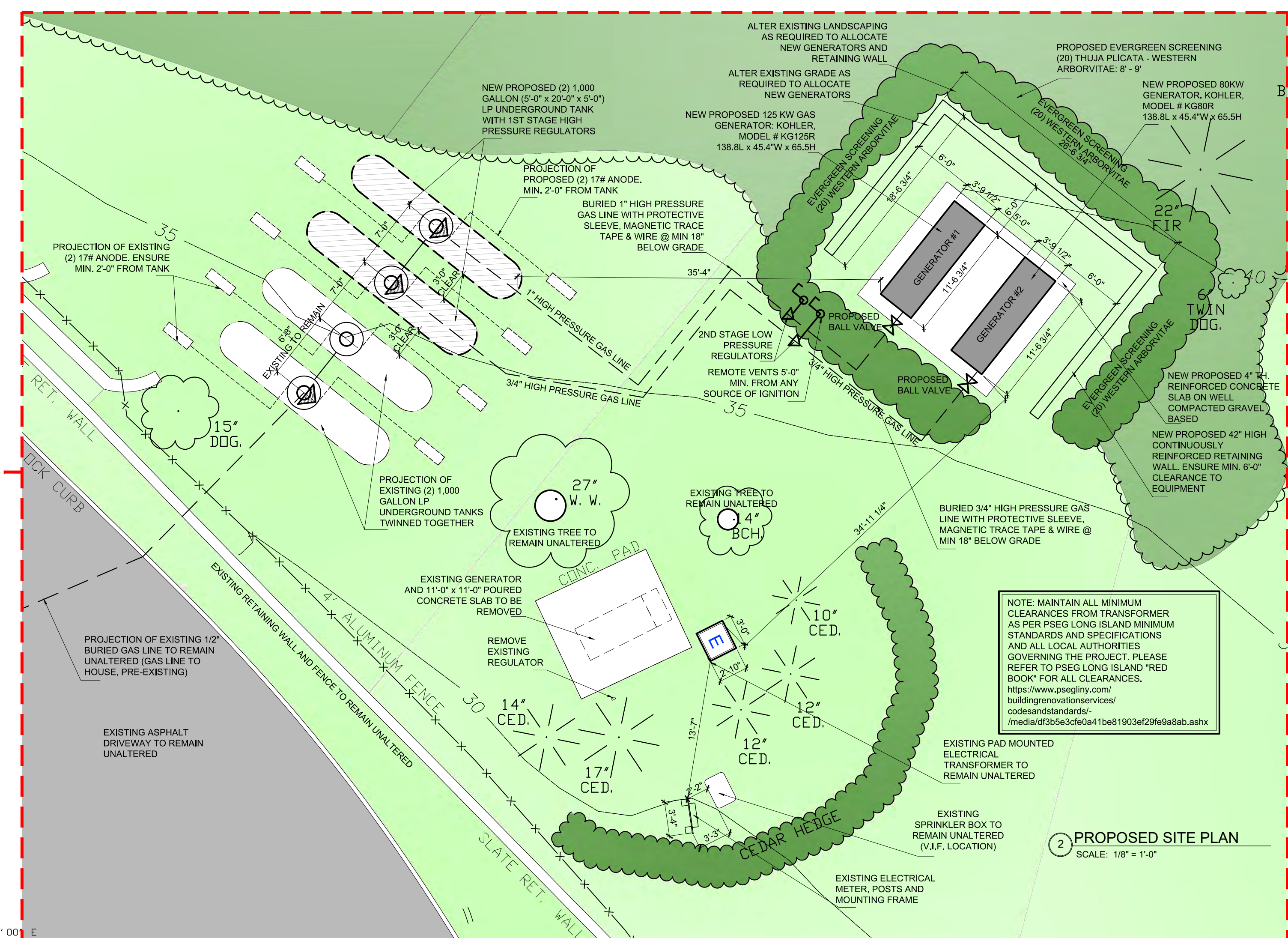
DIEGO E. FUSCHETTO
ARCHITECTURAL PROJECT MANAGER
DEF MANAGEMENT LLC
15 BUCKRAM ROAD, LOCUST VALLEY, NEW YORK, 11560
PH: (516) 984-6878
OF: (516) 723-9226
E-MAIL: DIEGOFUSCHETTO@OPTONLINE.NET
WEBSITE: WWW.DIEGOFUSCHETTO.COM

RADIUS MAP FOR:
406 CENTRE ISLAND RD
OYSTER BAY, NEW YORK, 11771
SEC: 28 BLOCK: F LOT: 303 & 304

DRAWING CONTENT:

EXISTING TREE LINE & PROPOSED
GENERATOR
& LP TANK DIAGRAMS

No.	Date:	REVISIONS AND ISSUES:
1.	NOV. 9, 2020	RADIUS MAP - VARIANCE SUBMISSION
2.		
3.		
4.		



NOTES:	
LOT AREA = 6.252 ACRES	
NASSAU COUNTY TAX MAP	
SECTION: 28 BLOCK: F LOT: 303 & 304	
<u>APPLICANT:</u>	MR. HANNITY RESIDENCE 406 CENTRE ISLAND ROAD OYSTER BAY, NEW YORK, 11771
<u>ATLANTIC BOTTLE GAS COMPANY INC.:</u>	JOHN G. KEAN ATLANTIC BOTTLE GAS CO INC. 17 MIDLAND AVENUE HICKSVILLE, NEW YORK, 11801 516-635-2427
<u>EXTERIOR PLUMBER:</u>	E. SHEBLEIN PLUMBING AND HEATING CORP. 18 PINE HOLLOW ROAD OYSTER BAY, NY 11771 LICENSE # B1309 PHONE: 516-759-0529
<u>INTERIOR PLUMBER:</u>	PRE- EXISTING IN HOUSE SYSTEM




Model: KG80R

200-480 V Gas



EPA-Certified for Stationary Emergency Applications

Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories
- The generator set and its components are prototype-tested, factory-built, and production tested
- The 60 Hz generator set offers a 60/5,220 Hz range
- CSA approval is available
- The 60 Hz generator set meets NEMA IFT1, Level 1, and is equipped with the necessary accessories and installed per NFPA requirements
- The generator set accepts load up to one step.
- A one-way limited starting current can protect air systems and components. Two, two-way five extended limited overloads are also available

Ratings Range

Standby: kW

 kVA

60 Hz

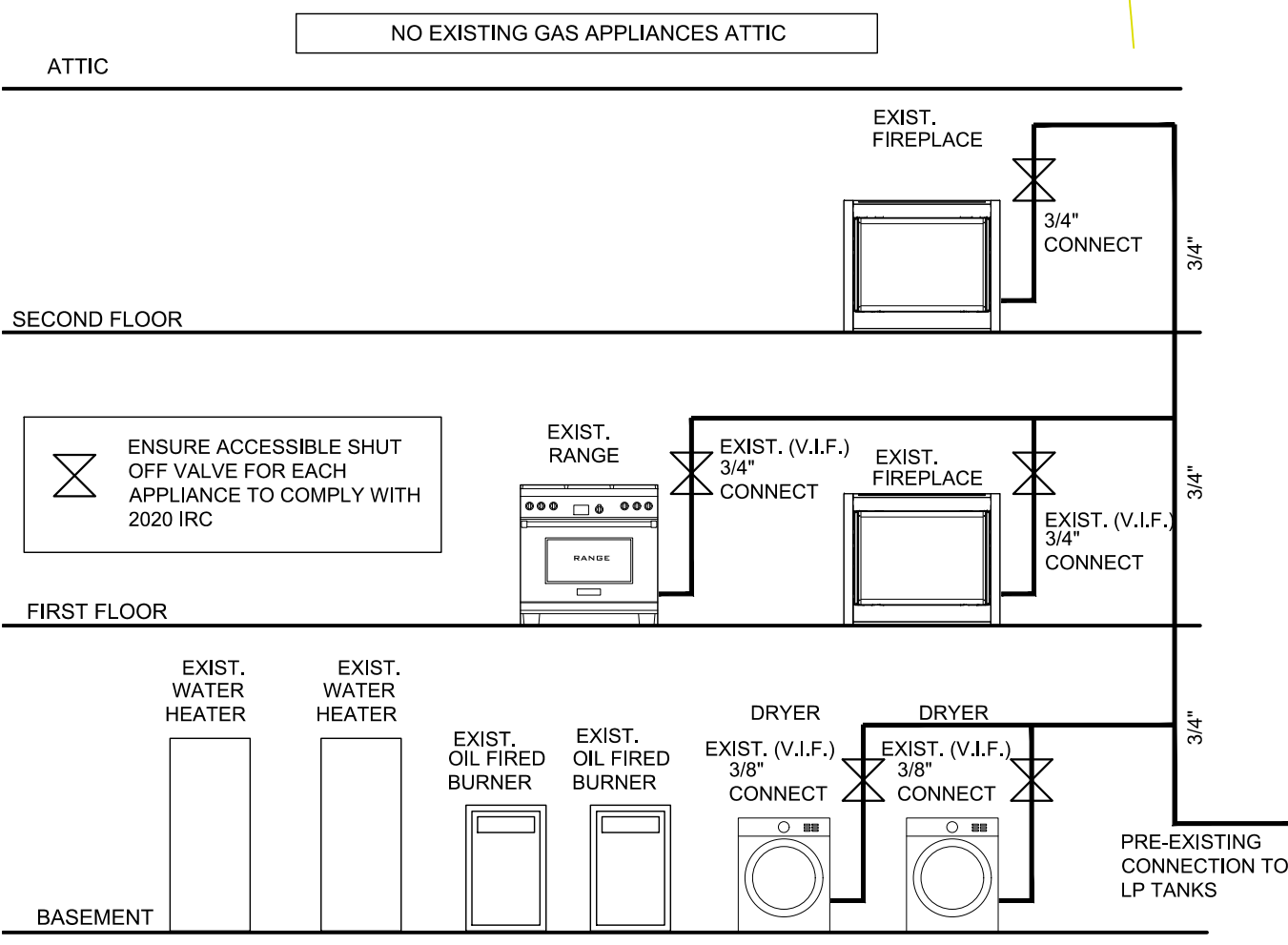
60/520

60/1-200



Alternator Features

- The unique "Fast-Response" AVR controls system delivers accurate voltage responses and short-circuit current capability during inrushes, permit motor starting, 75% overload alternator.
- In inrushes, rotating-field alternator has broadrange recoverability
- Other features:
 - Kohler® AFM486 controller: See controller features on page 8.
 - The electronic, asynchronous governor incorporates an integrated drive-by-wire throttle body actuator delivering precise frequency regulation.
 - Multi-link (GL) models with selected features and a five-year, time-limited warranty are available. See your Kohler distributor for details.

[illegible]

NOTES: 1. Plumbing contractor to verify location of LP tank in field. 2. Plumbing contractor to verify length of run and size pipe accordingly. 3. Plumbing contractor to verify b.t.b. load. 4. Plumbing contractor to install separated gas shut-off on each piece of equipment. 5. Plumbing contractor to properly size proposed gas lines as required following the 2020 IBC and manufacturers specifications/ recommendations	HOUSE SYSTEM TO REMAIN UNALTERED ALL IN-HOUSE APPLIANCES, PIPING AND VALVES ARE EXISTING TO REMAIN UNALTERED (PRE-EXISTING) - FILED UNDER PERMIT # 1068 DATED 2/27/2019 CERTIFICATE OF OCCUPANCY # 20-1068 DATED 4/9/20
--	---

PROPOSED 125 KW GENERATOR		PROPOSED 80 KW GENERATOR	
1	2	3	4

No.	Date:	REVISIONS AND ISSUES:
1.	SEPT. 29, 2020	GAS TANKS AND GENERATORS BUILDING PERMIT SUBMISSION
2.	NOV. 9, 2020	GAS TANKS AND GENERATORS VARIANCE SUBMISSION
3.		
4.		
5.		
6.		

DRAWING CONTENT:

PROPOSED SITE PLAN
DETAILS, GAS RISER DIAGRAM
EXISTING CONDITIONS PHOTOS

PROPOSED GAS TANKS & GENERATOR:

HANNITY RESIDENCE
406 CENTRE ISLAND ROAD, OYSTER BAY, NEW YORK, 11771
INCORPORATED VILLAGE OF CENTRE ISLAND

SECTION: 28 BLOCK: "E" LOT: 303 & 304

DIEGO E. FUSCHETTO
ARCHITECTURAL PROJECT MANAGER
DEF MANAGEMENT LLC

15 Buckram Road,
Locust Valley, New York, 11560

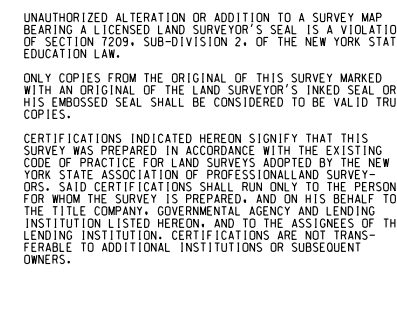
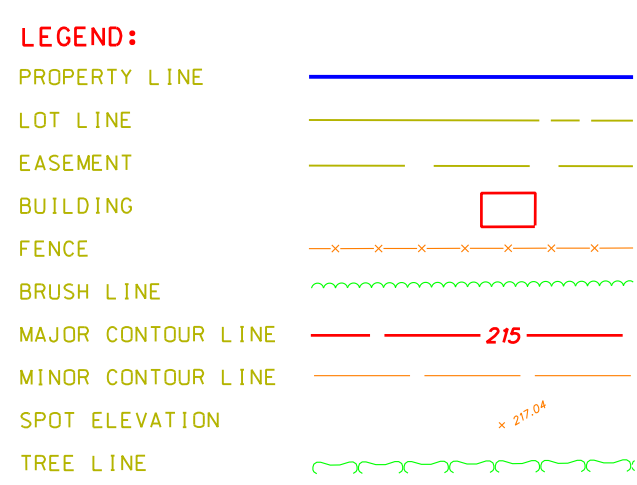
Ph: (516) 984-6878
Of: (516) 723-9226
e-mail: diegofuschetto@optonline.net
website: www.diegofuschetto.com

SEAL & SIGNATURE

SCALE: AS NOTED	DRAWN BY: DF
PROJECT #	PAGE # SP-1 1 OF 1

OWNERSHIP AND USE OF DOCUMENTS:
DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THEN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT.

NOTES:
THE GENERAL CONTRACTOR AND JOB ALL SUB-CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DRAWINGS SHALL NOT BE SCALED FOR INFORMATION.



DESIGN BY:	
DRAWN BY:	NG
CHECKED BY:	NG
DATE:	SEPT. 25, 2004
SCALE:	1" = 20'