

PROPOSED NEW DWELLING FOR:
STRAUSS RESIDENCE

448 ROOSEVELT ROAD

INCORPORATED VILLAGE OF CENTRE ISLAND, NY 11771

NO.	ISSUED / REVISION	DATE
1	ISSUE TO BUILDING DEPT.	08/12/2021
2	REVISED PER BUILDING DEPT.	08/10/2021
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DRAWING SYMBOLS

- FIN. FLR. ELEVATION HEIGHT
- ELEVATION NUMBER SHEET ELEVATION IS DRAWN
- SECTION NUMBER SHEET SECTION IS DRAWN
- DETAIL NUMBER SHEET DETAIL IS DRAWN

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONSTRUCTION TO BE REMOVED
---	EXISTING CONSTRUCTION TO REMAIN
---	PROPOSED CONSTRUCTION AS NOTED
---	NEW CONSTRUCTION 2"x4" WOOD STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED)
⊙	CARBON MONOXIDE DETECTOR (HARDWIRED)
⊙	SMOKE DETECTOR (HARDWIRED)
*	DENOTES EGRESS WINDOW
⊠	STRUCTURAL POST (SEE FRAMING NOTES)
BP	BEARING POINT

DRAWING LIST

T-1 TITLE SHEET, DRAWING LIST, CONSTRUCTION LEGEND, SYMBOLS, PLOT PLAN, ZONING DATA, CALCULATIONS

FA-1 EXISTING & PROPOSED FLOOR PLAN DIAGRAMS

EX-1 EXISTING & PROPOSED ELEVATIONS

A-1 FIRST FLOOR PLAN

A-2 SECOND FLOOR PLAN

A-3 PROPOSED ELEVATIONS

A-4 PROPOSED ELEVATIONS

A-5 BUILDING SECTIONS

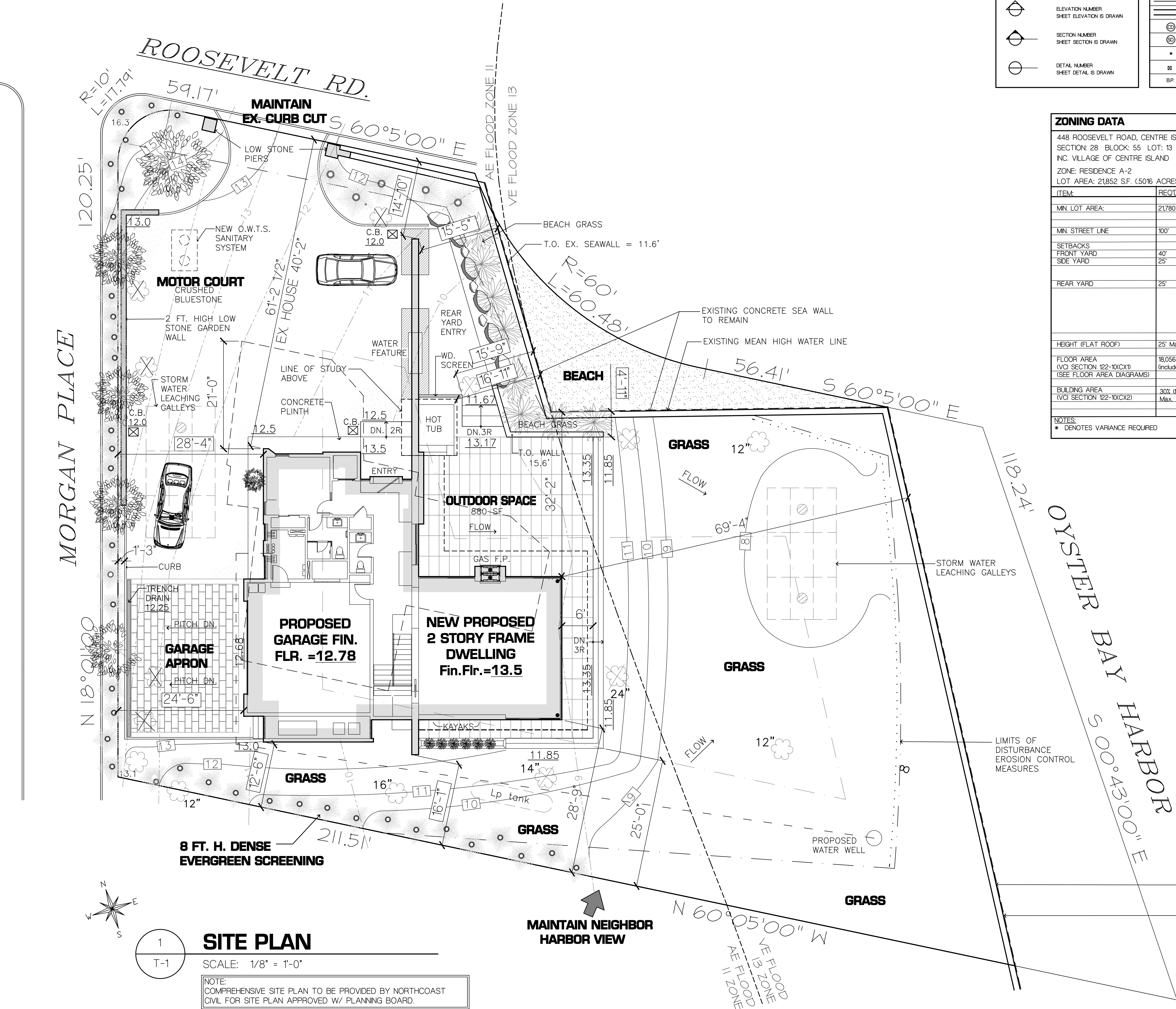
A-6 FILL SECTION, CUT & FILL CALCULATIONS

ZONING DATA			
448 ROOSEVELT ROAD, CENTRE ISLAND, NY SECTION: 28 BLOCK: 55 LOT: 13 INC. VILLAGE OF CENTRE ISLAND ZONE: RESIDENCE A-2 LOT AREA: 21,852 S.F. (5016 ACRES)			
ITEM	REQD. / PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA:	21,780 SF (5 ACRES)	21,852 SF (GROSS) *18,056 SF (NET)	
MIN. STREET LINE	100'	120.25'	
SETBACKS			
FRONT YARD	40'	24.6' (Morgan) / 40.3' (Roosevelt)	*24.6' (Morgan) / *14.9' (Roosevelt)
SIDE YARD	25'	28.1'	*16.08' privacy wall 28.75' principal dwelling 25.00' steps *15.42' privacy wall *15.75' hot tub platform *16.92' second floor study *4.92' patio 32.17' principal dwelling 69.33' principal dwelling
REAR YARD	25'	37.8'	
HEIGHT (FLAT ROOF)	25' Max. (from Mean Average Grade)	28.0' to top of ridge	*26.25'
FLOOR AREA (VCI SECTION 122-10(C)(1) (SEE FLOOR AREA DIAGRAMS))	18,056 SF x .184 + 250 = 3,572.30 SF (Max.) (includes + 250 sf for att. garage)	3,128 SF	*3,973.4 SF (See diagrams) First Floor = 1,898 SF Second Floor = 2,075.4 SF
BUILDING AREA (VCI SECTION 122-10(C)(2))	30% (Max.) (5,416 SF) Max. Aggregate-Princ. & Access.	16% (2,897 SF) Principal and accessory struct.	19.2 % (3,456.5 SF)
NOTES: * DENOTES VARIANCE REQUIRED			

LOT COVERAGE CALCULATIONS	
BUILDING COVERAGE	= 2,509 SF
PORCHES	= 59 SF
WALKS	= 276 SF
HOT TUB	= 101 SF
WATER FOUNTAIN/ FEATURE	= 117 SF
DRIVEWAYS	= 4,221 SF
PATIO	= 1,398 SF
PATIO RETAINING WALL	= 29 SF
PLANTER	= 34 SF
GENERATOR CORRAL	= 114 SF
TOTAL LOT COVERAGE	= 8,858 SF
18,056 NET LOT AREA - 8,858 SF = 9,198	
9,198 SF LAWN/ LANDSCAPED AREA	

AVERAGE GRADE CALCULATION	
12.0	
13.6	
11.85	
11.85	
13.0	
12.5	
12.5	
87.3	
87.3 / 7 = 12.47	
AVERAGE GRADE = 12.47	

CUT & FILL CALCULATIONS	
CUT:	
DRIVEWAY CUT = 50.0 CY	
SANITARY SYSTEM EXCAVATION = 50 CY	
DRAINAGE SYSTEM EXCAVATION = 150 CY	
FILL:	
DRIVEWAY FILL = 120.0 CY	
DWELLING & REAR TERRACE FILL = 400.0 CY	
REAR YARD GRADING FILL = 130.0 CY	
TOTAL = 400.0 CY OF SOIL TO BE IMPORTED	
NOTES: SEE SECTION ON DRAWING SHEET A-6	



1
T-1

SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE:
COMPREHENSIVE SITE PLAN TO BE PROVIDED BY NORTHCOAST CIVIL FOR SITE PLAN APPROVED W/ PLANNING BOARD.

EXISTING CONCRETE SEA WALL TO REMAIN

EXISTING MEAN HIGH WATER LINE

☐ FOR CONSTRUCTION

☐ NOT FOR CONSTRUCTION

☐ REVIEW SET

☐ NO SET

Project:
PROPOSED NEW DWELLING FOR:
MARC STRAUSS
448 ROOSEVELT RD.
CENTRE ISLAND, NY 11771

Drawing:
TITLE SHEET, DRAWING LIST,
CONSTRUCTION LEGEND, PLOT PLAN,
CUT & FILL CALCULATIONS &
ZONING DATA

Project No.
R2021-10

Date: JUNE 2021

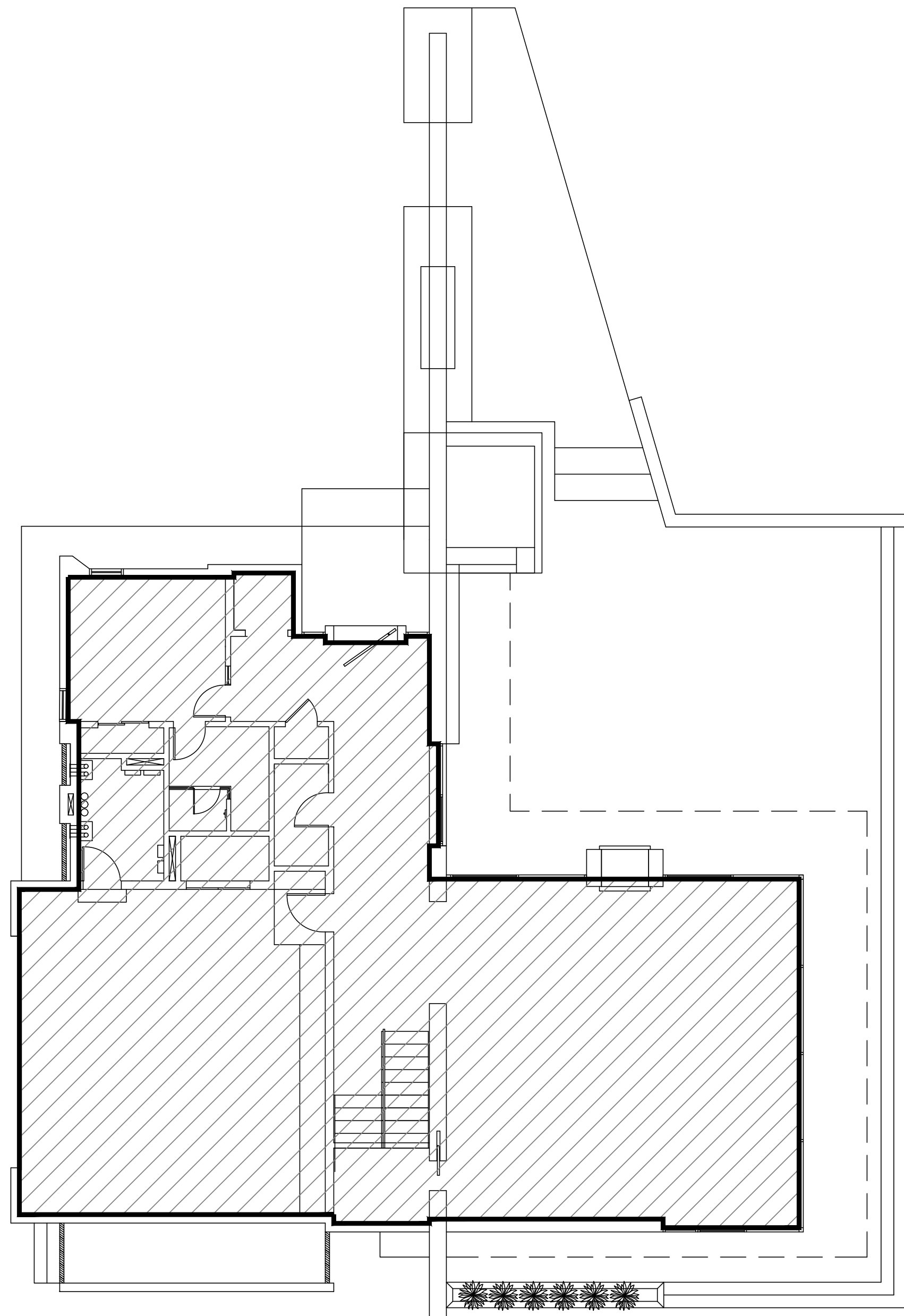
Architects:
CORE GROUP ARCHITECTS, LLP
71 WEST MAIN STREET OYSTER BAY, NY 11771
TELEPHONE (516) 628-2804 FAX (516) 628-2807

Scale: AS NOTED

T-1

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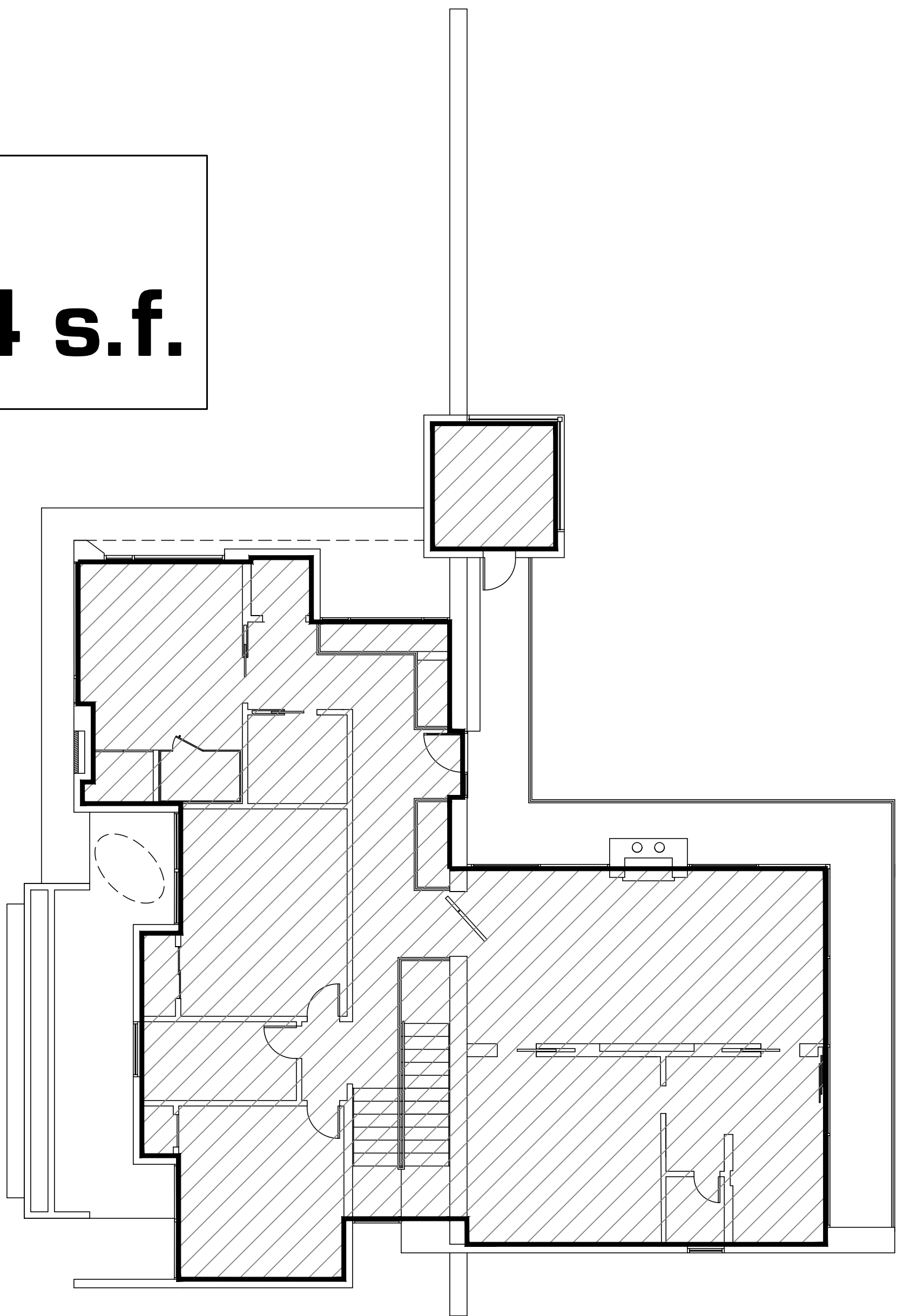


1
FA-1
PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

**TOTAL PROPOSED
FLOOR AREA= 3,973.4 s.f.**

**PROPOSED
FIRST
FLOOR**

2,148 - 250 = 1,898 sf

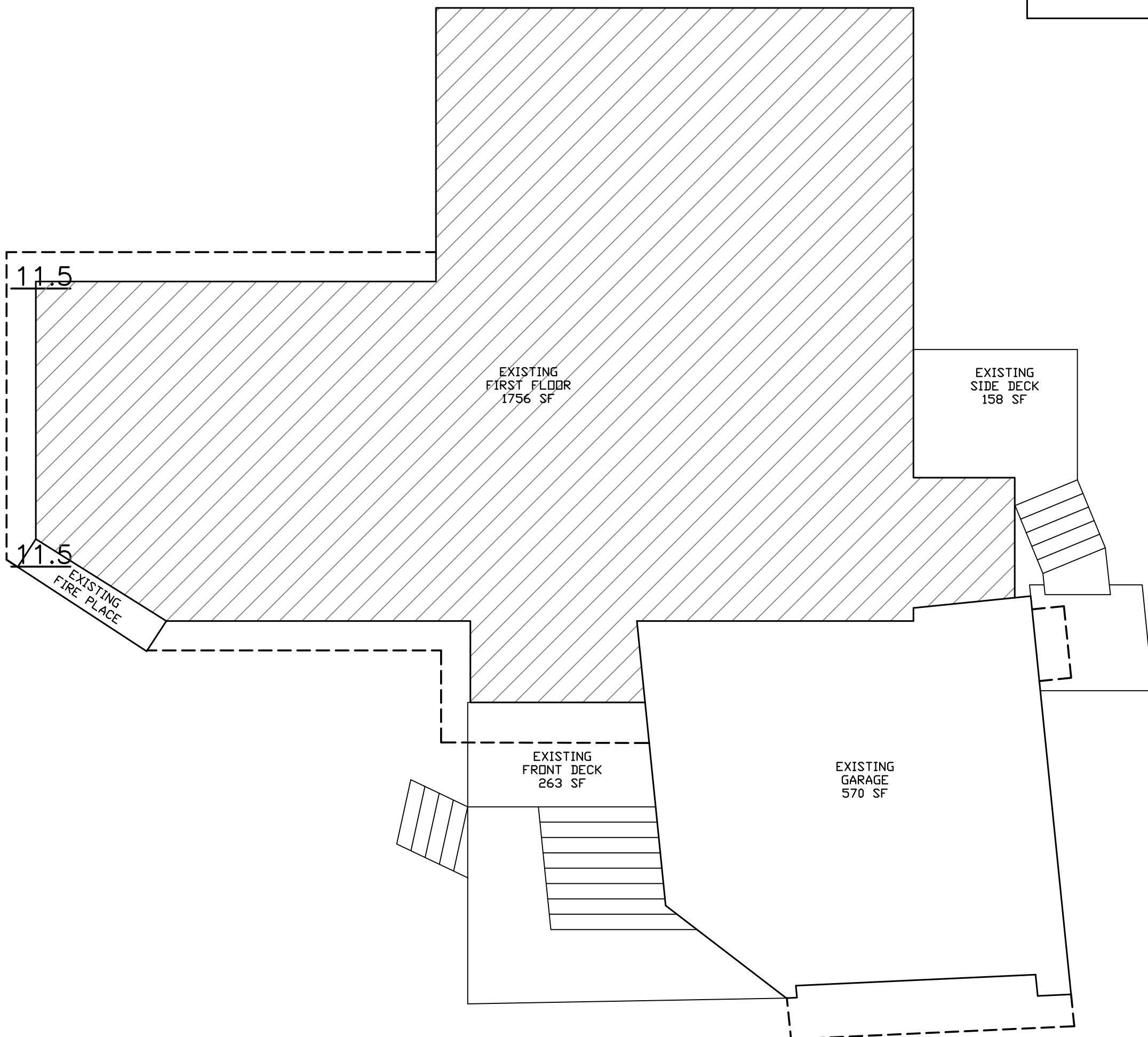


2
FA-1
PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

**PROPOSED
SECOND
FLOOR**

1998.4 + 77 = 2,075.4 sf

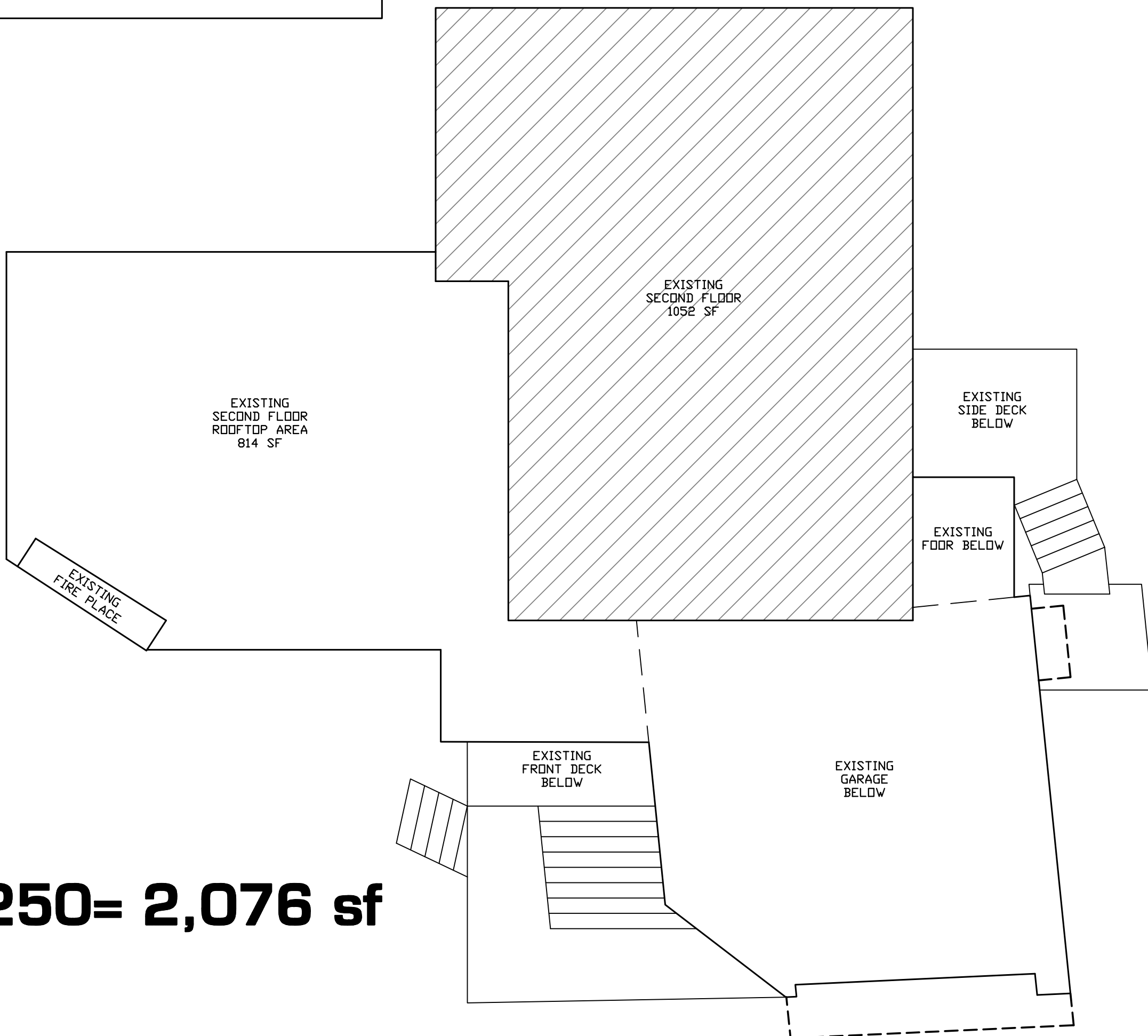
**TOTAL EXISTING
FLOOR AREA= 3,128 s.f.**



3
FA-1
EXISTING FIRST FLOOR
SCALE: 1/8" = 1'-0"

**EXISTING
FIRST
FLOOR**

1,756 sf + 570 sf - 250= 2,076 sf



4
FA-1
EXISTING SECOND FLOOR
SCALE: 1/8" = 1'-0"

**EXISTING
SECOND
FLOOR**

1,052 sf

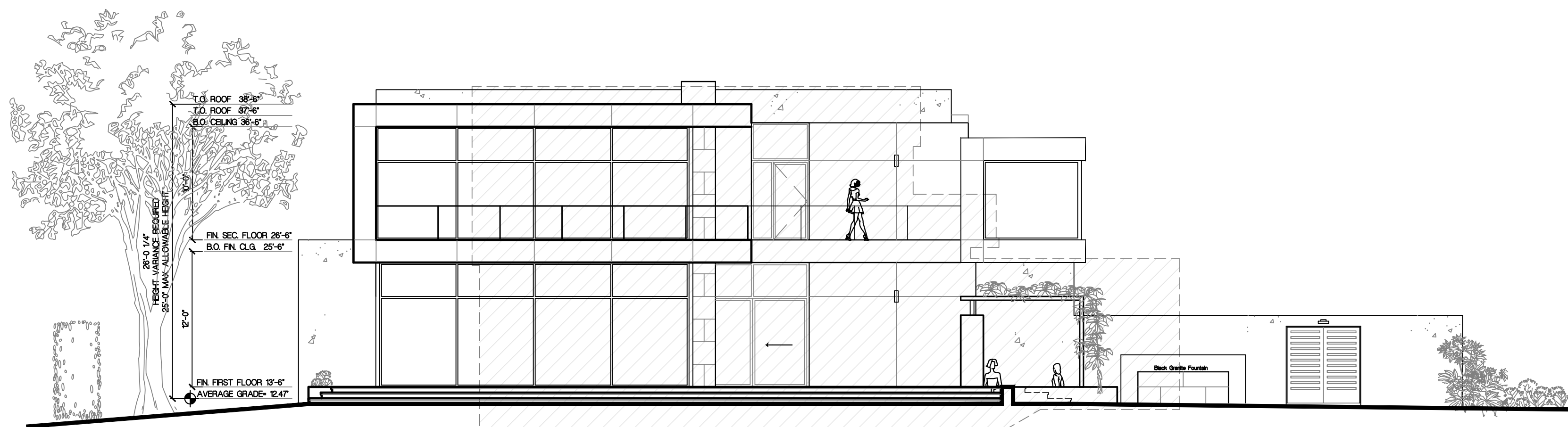
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CENTRE ISLAND, NY 11771

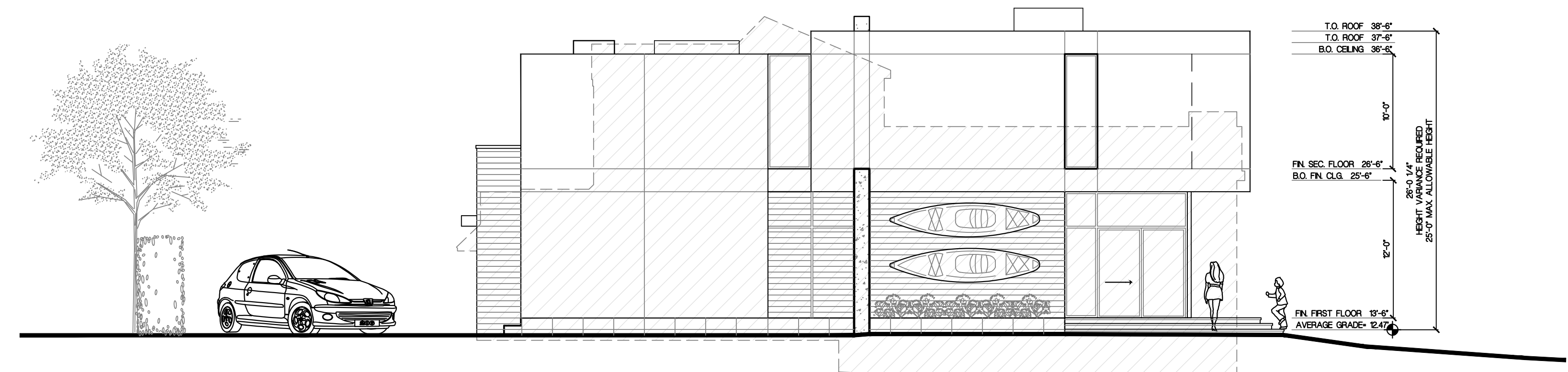
Drawing:
FLOOR PLAN DIAGRAMS
EXISTING & PROPOSED

Project No. R2021-10	Drawing No. FA-1
Date: JUNE 2021	Scale: AS NOTED

Architects:
CORE GROUP ARCHITECTS, LLP
71 WEST MAIN STREET OYSTER BAY, NY 10771
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1 **PROPOSED EAST ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



3 **PROPOSED SOUTH ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



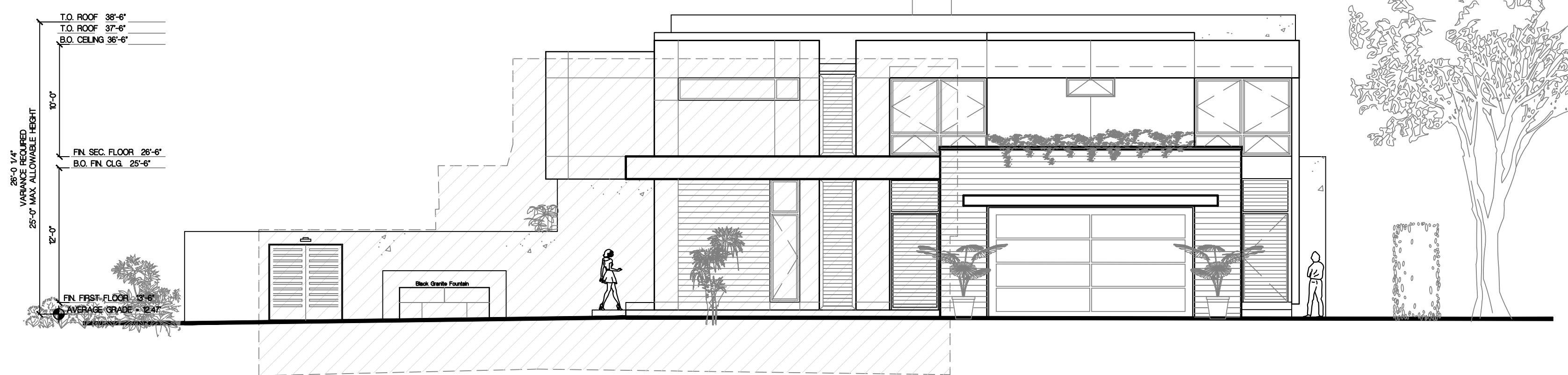
2 **EXISTING EAST ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



4 **EXISTING SOUTH ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



5 **PROPOSED NORTH ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



7 **PROPOSED WEST ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



6 **EXISTING NORTH ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"



8 **EXISTING WEST ELEVATION**
EX-1 SCALE: 1/8" = 1'-0"

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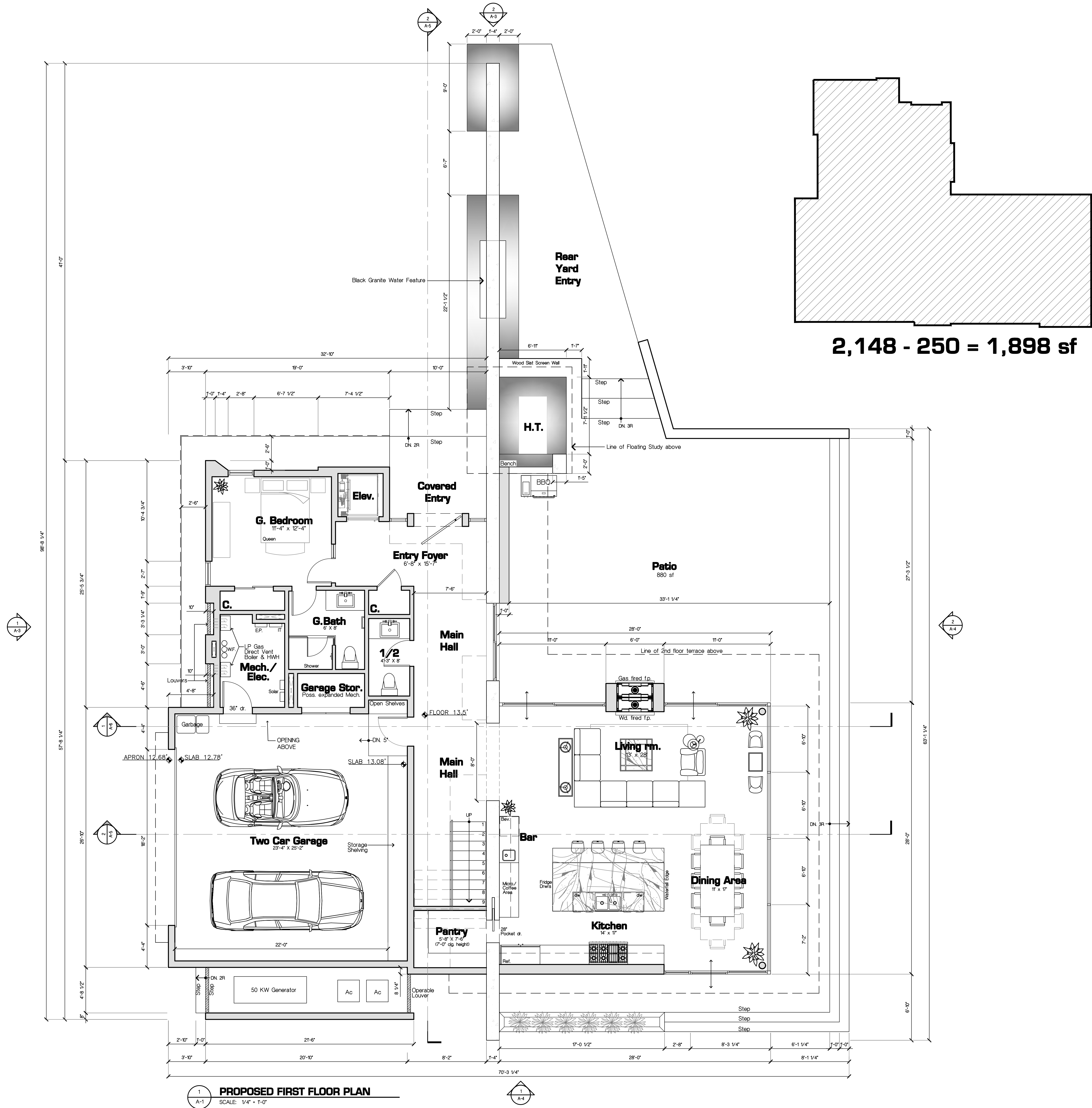
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PROPOSED NEW DWELLING FOR:
MARC STRAUSS
448 ROOSEVELT RD.
CENTRE ISLAND, NY 11771

EXISTING DWELLING ELEVATIONS
& ELEVATION COMPARISONS

Project No. R2021-0
Date: JUNE 2021
Drawing No. **EX-1**
Scale: AS NOTED

Architects
CORE GROUP ARCHITECTS, LLP
71 WEST MAIN STREET
OYSTER BAY, NY 11771
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2,148 - 250 = 1,898 sf

1 A-1 PROPOSED FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

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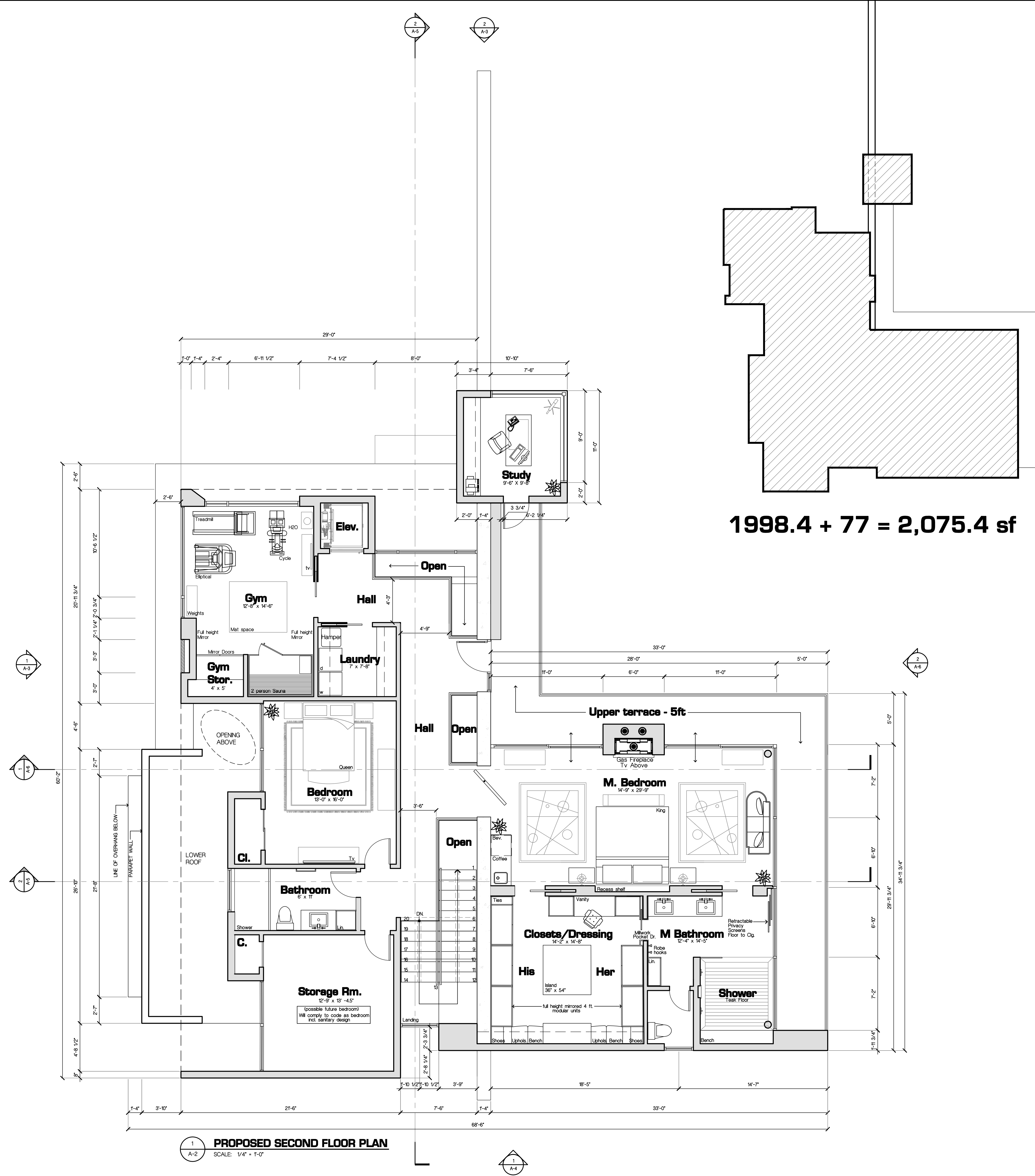
Drawing:
PROPOSED FIRST FLOOR PLAN

Project No.
R2021-10
Date: JUNE 2021
Drawing No.
A-1
Scale: AS NOTED

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PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Seal & Signature	
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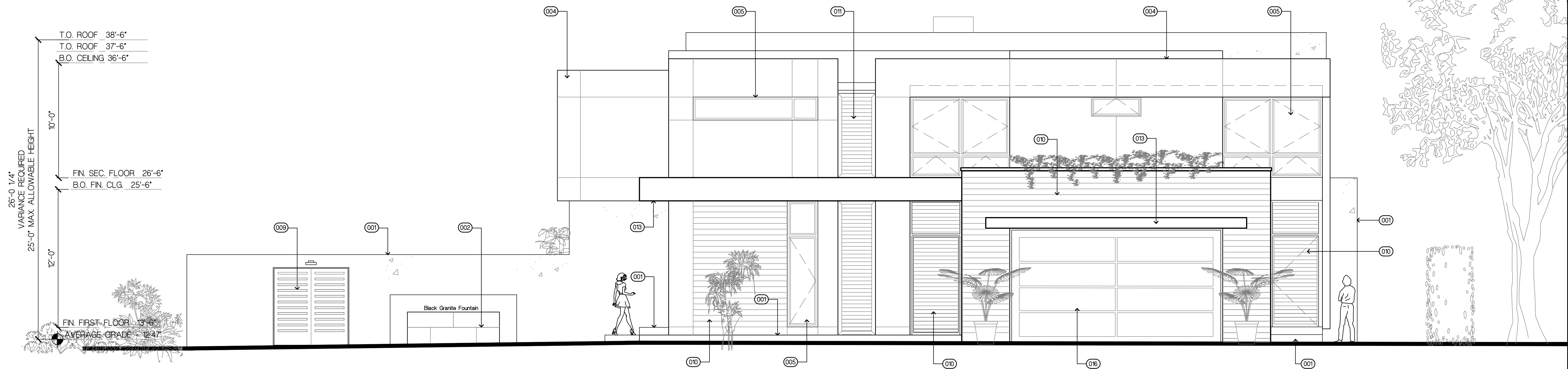
Drawing:
PROPOSED SECOND FLOOR PLAN

Project No. R2021-10	Drawing No. A-2
Date: JUNE 2021	Scale: AS NOTED

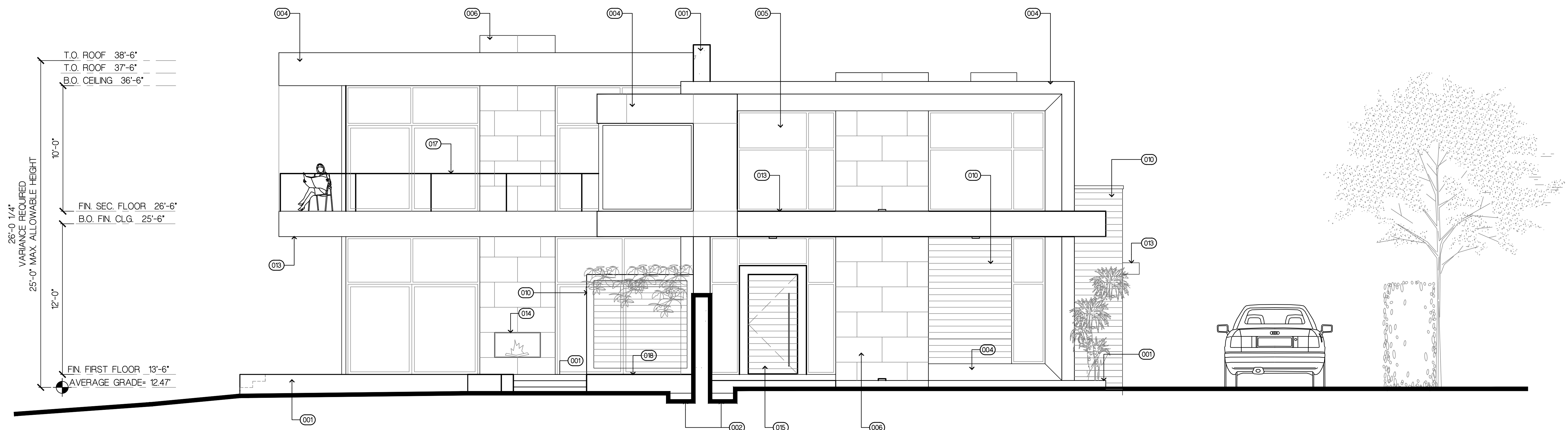
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1
A-3
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2
A-3
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

(X)	DESCRIPTION	MANUFACTURER/ PRODUCT	COLOR
001	ARCHITECTURAL CONCRETE	CAST IN PLACE ARCHITECTURAL CONC.	RAW CONCRETE GRAY/SEALER
002	WATER FEATURE	BLACK ABSOLUTE GRANITE SLABS	BLACK - POLISHED
003	ALUMINUM LOUVER RIBS	1" X 4" ALUM. TUBES/POWDER COATED	BLACK - MATCH WIND.
004	STUCCO WALL SYSTEM	"STOPOVERWALL" BY STO CORP.	STOUT MILANO SMOOTH - COLOR T.B.D.
005	ALUMINUM WINDOWS & DOORS	KOLBE & KOLBE - VISTALUX AL.	BLACK
006	CHIMNEY	PORCELANOSA - BOTTESA ACERO	18" X 48"
007	FRAMELESS GLASS RAILING	"TRALTECH" - 3/4" LAMINATED CLEAR	CLEAR GLASS - CONCEALED BASE SHOE
008	PATIO SLABS	"TECHO-BLOC" - BLU GRANDE POLISHED	19 X 32 - LINEAR PATTERN COLOR T.B.D.
009	GARDEN GATE	CUSTOM ALUMINUM OR SOLID WOOD	T.B.D.
010	COMPOSITE CLADDING - RANSOREN	"FIBERON" OR EQUAL	T.B.D.
011	ARCHITECTURAL LOUVER	CS GROUP - CHEVRON TYPE 4180	FINSH T.B.D.
012	GARAGE DOOR	CUSTOM	T.B.D.
013	AWNING - ALUMINUM	FIELD BUILT - WRAPPED ALUM.	BLACK TO MATCH WINDOWS
014	FIREPLACE (SEE THROUGH 2 SIDED)	PIVOT DOOR COMPANY	WOOD TO MATCH SIDING
015	FRONT DOOR	BY THOMAS V. GEL CORP.	WOOD TO MATCH SIDING & OBSCURED FROSTED GLASS
016	GARAGE DOOR	CRL LAURANCE MODEL: GRS TAPER-LOC	CLEAR TEMPERED GLASS
017	GLASS RAILING SYSTEM	* CUSTOM	
018	HOT TUB		

GENERAL EXTERIOR FINISH NOTES:
• GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES OF ALL FINISHES FOR REVIEW AND APPROVAL FROM ARCHITECT AND OWNER.
• PRODUCTS CAN BE SUBSTITUTED BUT SHOULD BE IN SAME QUALITY AND COLOR.

Seal & Signature
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☐ REVIEW SET
☐ NO SET

Project:
PROPOSED NEW DWELLING FOR:
MARC STRAUSS
448 ROOSEVELT RD.
CENTRE ISLAND, NY 11771

Drawing:
PROPOSED NORTH & WEST
ELEVATIONS

Project No.
R2021-10

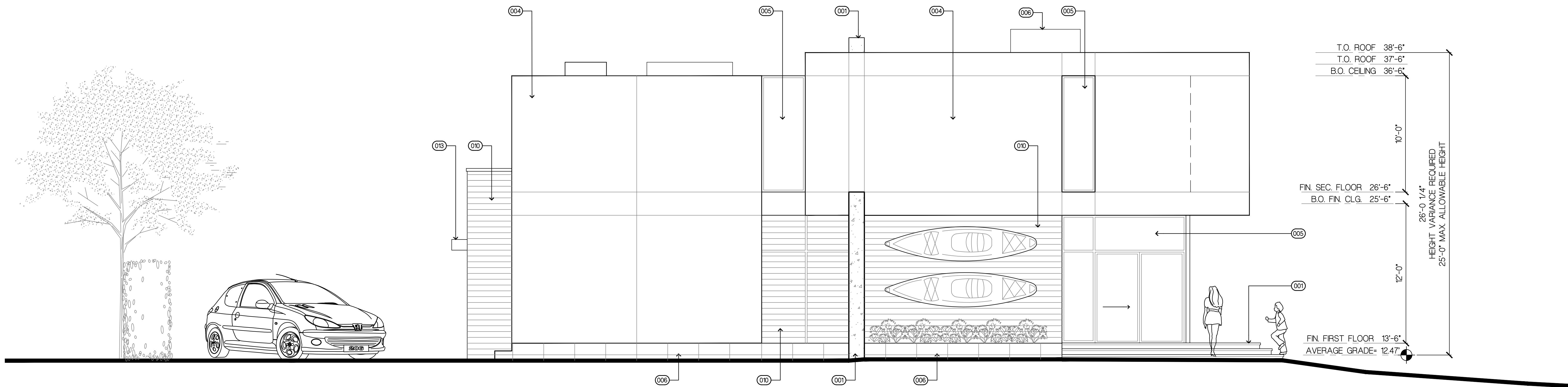
Drawing No.
A-3

Date: JUNE 2021

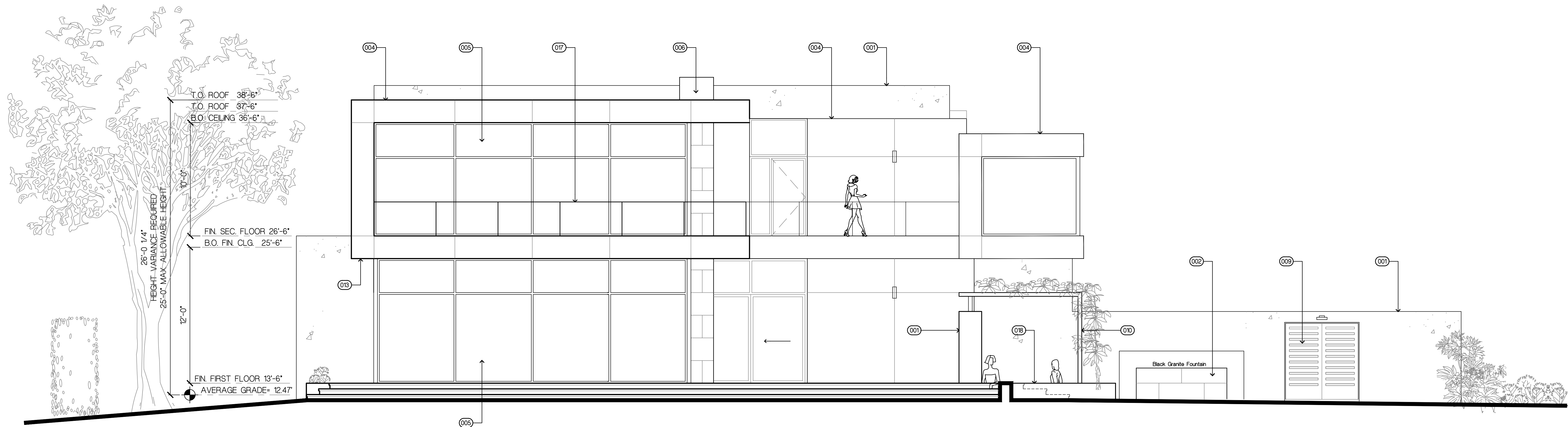
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Architects:
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71 WEST MAIN STREET
TELEPHONE (516) 628-2804

OYSTER BAY, NY 11771
FAX (516) 628-2807



1
A-4
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-4
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	MANUFACTURER/ PRODUCT	COLOR
001	ARCHITECTURAL CONCRETE	CAST IN PLACE ARCHITECTURAL CONC.	RAW CONCRETE GRAY/SEALER
002	WATER FEATURE	BLACK ABSOLUTE GRANITE SLABS	BLACK - POLISHED
003	ALUMINUM LOUVER RIBS	7" X 4" ALUM. TUBES/POWDER COATED	BLACK - MATCH WIND.
004	STUCCO WALL SYSTEM	"STOPPOWERWALL" BY STO CORP.	STOUT MILANO SMOOTH - COLOR T.B.D.
005	ALUMINUM WINDOWS & DOORS	KOLBE & KOLBE - VISTALUX AL.	BLACK
006	CHIMNEY - PORCELAIN TILE	PORCELANOSA - BOTTEGA ACERO	18" X 48"
007	FRAMELESS GLASS RAILING	TRALTECH - 3/4" LAMINATED CLEAR	CLEAR GLASS - CONCEALED BASE SHOE
008	PATIO SLABS	TECHO-BLOC - BLU GRANDE POLISHED	19 X 32 - LINEAR PATTERN COLOR T.B.D.
009	GARDEN GATE	CUSTOM ALUMINUM OR SOLID WOOD	T.B.D.
010	COMPOSITE CLADDING - RAINSCREEN	TYBERON OR EQUAL	T.B.D.
011	ARCHITECTURAL LOUVER	CS GROUP - CHEVRON TYPE 4180	FINISH T.B.D.
012	GARAGE DOOR	CUSTOM	T.B.D.
013	AWNING - ALUMINUM	FIELD BUILT - WRAPPED ALUM.	BLACK TO MATCH WINDOWS
014	FIREPLACE (SEE THROUGH 2 SIDES)		
015	FRONT DOOR	PIVOT DOOR COMPANY	WOOD TO MATCH SONG
016	GARAGE DOOR	BY THOMAS V. GEL CORP.	WOOD TO MATCH SONG & OBSOURED FROSTED GLASS
017	GLASS RAILING SYSTEM	CR1 LAURANCE - MODEL GRS TAPER-LOC	CLEAR TEMPERED GLASS
018	HOT TUB	* CUSTOM	

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CENTRE ISLAND, NY 11771

Drawing:
PROPOSED SOUTH & EAST
ELEVATIONS

Project No.
R2021-10

Drawn No.
A-4

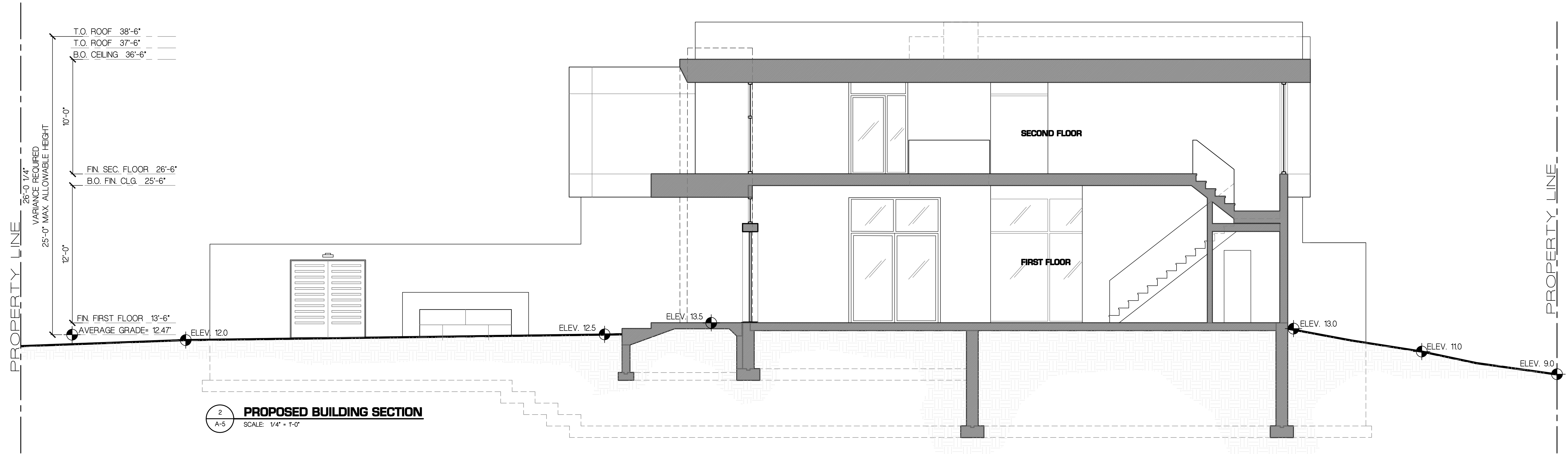
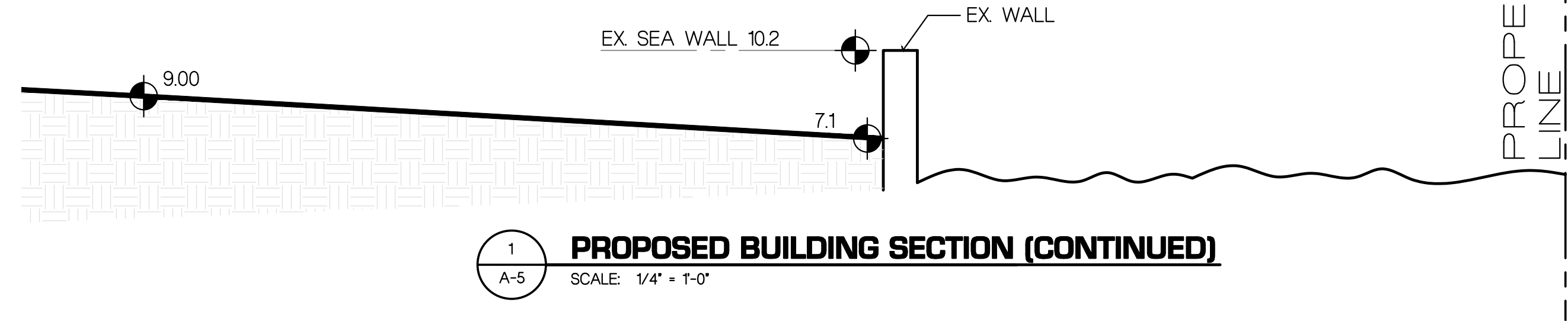
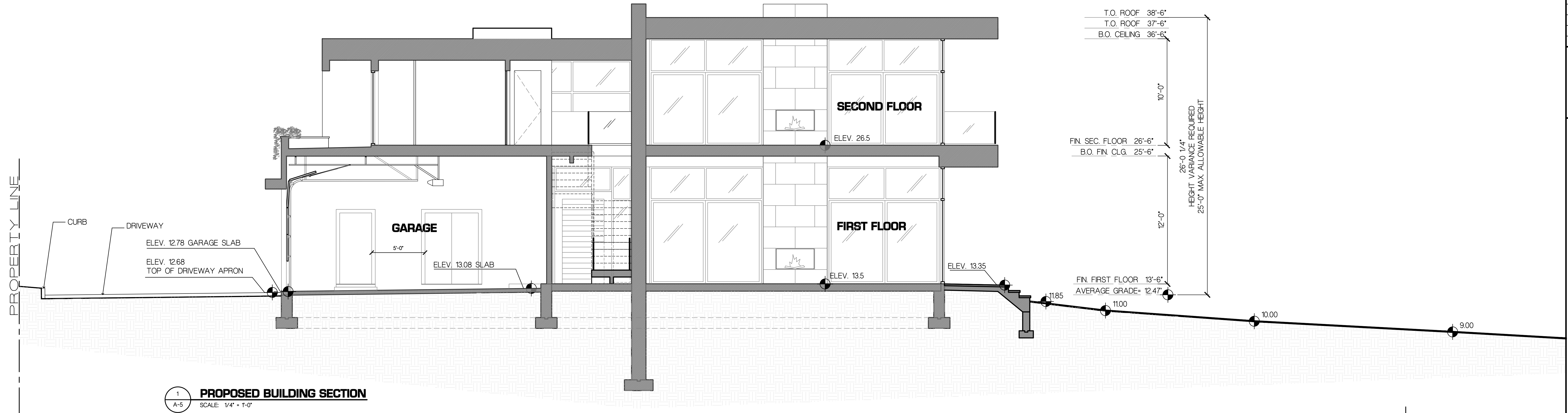
Date: JUNE 2021

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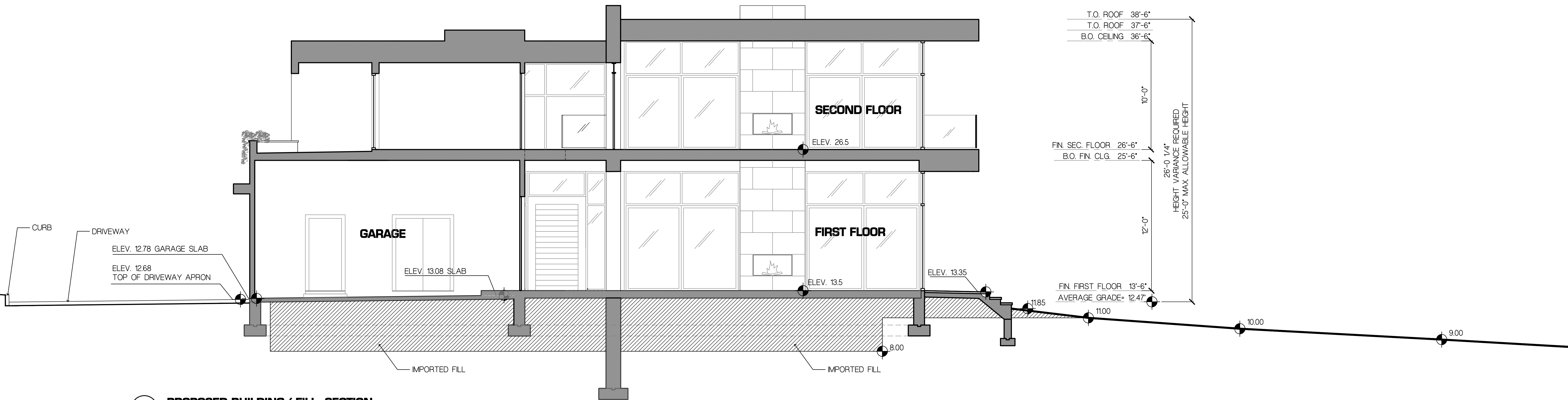
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Drawing:
PROPOSED BUILDING SECTIONS

Project No.
R2021-10
Date: JUNE 2021
Drawing No.
A-5
Scale: AS NOTED

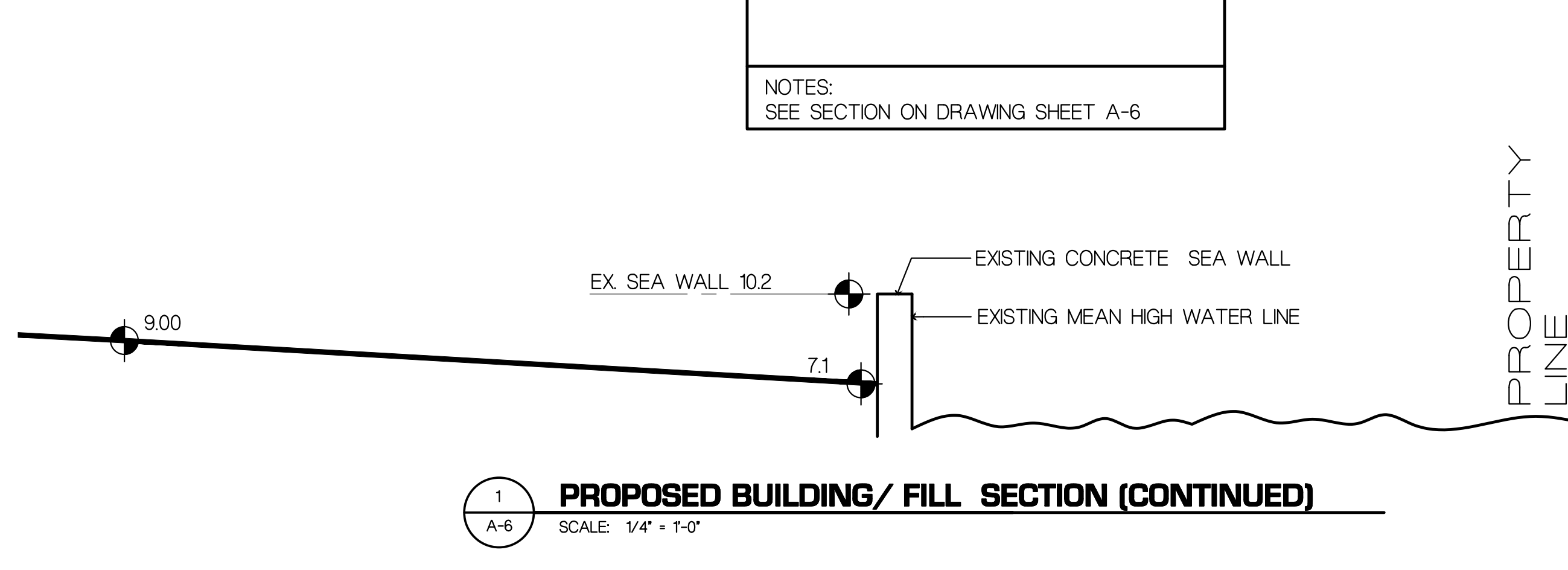
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PROPERTY LINE



1
A-6
PROPOSED BUILDING/ FILL SECTION
SCALE: 1/4" = 1'-0"

CUT & FILL CALCULATIONS
CUT:
DRIVEWAY CUT= 50.0 CY
SANITARY SYSTEM EXCAVATION = 50 CY
DRAINAGE SYSTEM EXCAVATION = 150 CY
FILL:
DRIVEWAY FILL = 120.0 CY
DWELLING & REAR TERRACE FILL = 400.0 CY
REAR YARD GRADING FILL = 130.0 CY
TOTAL = 400.0 CY OF SOL TO BE IMPORTED
NOTES: SEE SECTION ON DRAWING SHEET A-6



1
A-6
PROPOSED BUILDING/ FILL SECTION (CONTINUED)
SCALE: 1/4" = 1'-0"

NO.	ISSUED / REVISION	DATE
1	ISSUE TO BUILDING DEPT.	08.12.2021
2	REVISED PER BUILDING DEPT.	09.10.2021
3		
4		
5		
6		
7		
8		
9		
10		

All drawings and copies thereof are instruments of service and as such remain the property of CORE GROUP ARCHITECTS, LP. They are to be used only with respect to this project. With the exception of one complete set for each party to the contract, all copies are to be returned or suitably accounted for to CORE GROUP ARCHITECTS, LP, upon completion of the work.

Seal & Signature
☐ FOR CONSTRUCTION
☐ NOT FOR CONSTRUCTION
☐ REVIEW BY
☐ BY SET

Project:
PROPOSED NEW DWELLING FOR:
MARC STRAUSS
448 ROOSEVELT RD.
CENTRE ISLAND, NY 11771

Drawing:
FILL SECTION,
CUT & FILL CALCULATIONS

Project No.
R2021-10
Drawing No.
A-6
Date: JUNE 2021
Scale: AS NOTED

Architects:
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